



**City of Half Moon Bay**  
**COMMUNITY DEVELOPMENT DIRECTOR HEARING**  
**STAFF REPORT**  
**December 7, 2016**

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**RECOMMENDATION**

Approve by Resolution, PDP-16-040, an application for a Coastal Development Permit and Architectural Review to allow the abandonment/destruction of the existing water well and construction of a new 2,706 square foot, two-story residence and associated site improvements on a 5,594 square foot lot at 412 Valdez Ave, APN 056-118-300, located in the R-1, Single Family Residential Zoning District and the Residential – Medium Density – General Plan/Local Coastal Program Land Use Designation, based upon the Findings and Evidence contained in Exhibit A of the Draft Resolution, and subject to the Conditions of Approval contained in Exhibit B.

**PROJECT SUMMARY**

**Owner/Applicant:** Taffera Family Trust, 1369 East Waldon Way, Fresno, CA 93730

**Project Planner:** Scott Phillips, Associate Planner, (650) 726-8299

**Requested Permits:** Coastal Development Permit and Architectural Review

**LCP/Zoning:** Residential-Medium Density; R-1, Single Family Residential

**Environmental Determination:** Categorically Exempt pursuant to California Administrative Code Section 15303(a), Single Family Residence

**Water:** The property currently has a 5/8" uninstalled non-priority water service assigned to the site, allowing the applicant to install a 5/8" waterline to the proposed development.

**Sewer:** The property is located within the Sewer Authority Mid-Coast (SAM) Sewer District and was not included within the SAM Sewer Assessment District. Therefore, the applicant will need to purchase two benefit sewer units prior to issuance of a building permit.

**Right of Appeal:** Any aggrieved person may appeal the decision of the Community Development Director to the Planning Commission within ten (10) working days of the date of the decision. This project is not located within the Coastal Commission Appeals Jurisdiction; therefore City action on the permit is final.

## **BACKGROUND**

### **Description of project**

The applicant proposes to abandon the existing water well and demolish the existing well house on the site and construct a two-story single-family residence with an attached two car garage, totaling 2,706 square feet in floor area. The exterior materials and colors of the new residence would include a combination of horizontal wood siding and shingles in a light gray color. The roof would be a gable design and covered in composition shingles. Existing fencing would be refurbished and extended along the western side property line. Pervious pavers in a natural brown color would be utilized for both the new driveway and rear patio. The project plans are included as Attachment 2. The applicant would be required to construct curb, gutter and sidewalk along the site frontage, tying into the existing curb, gutter and sidewalk fronting the adjacent properties.



**Figure 1. Site Location (in green)**

### **Site & Surroundings Properties**

The 5,594 square-foot site is located in an existing residential neighborhood (Miramontes Tract) in the R-1, Single-Family Residential Zoning District, and is surrounded by developed properties. The site across Valdez Avenue from Ocean View Park, a prominent City park. The site currently contains several Monterey Cypress trees, a pump house for the existing water well and solid wood fencing along the property lines. Two story houses dominate the surrounding neighborhood.

### **Permit History**

Prior to the current owner acquiring the property, the previous property owner obtained two separate tree removal permits to remove trees from the subject property. Copies of these tree removals are included with this report as Attachment 3. Subsequent to the photograph in Figure 2, the current owner removed the trees approved for removal. The new owner and applicant for this project is responsible for planting the replacement trees for the ones that have been removed. A letter has been submitted by the applicant identifying the size and location for the tree replacements (Attachment 4).



**Figure 2. Subject property at 412 Valdez Avenue as of November 2016**

### **ANALYSIS**

The key issues for this project are conformance with the Zoning Code, and with the General Plan/Local Coastal Program, design compatibility and compatibility with adjacent uses.

**Conformance with the Zoning Code and Local Coastal Program**

The subject parcel is 5,594 square feet in area and 45 feet wide, which is less than the minimum required width (50 feet) for the R-1 Zoning District. The site is more than 55% of the minimum average site width and thus, the site considered “substandard”. Therefore, the proposal is subject to the R-1 development standards for substandard lots identified in table E in Section 18.06.050. As indicated in Table 1, the proposed residence conforms to the R-1 development standards for substandard lots. The property currently has a 5/8” uninstalled non-priority water service assigned to the site, allowing the applicant to install a 5/8” waterline to the new residence. A Condition of Approval has been added (Condition #B5) has been added requiring the applicant to submit and be issued a water well abandonment permit through the San Mateo County Health Department and formally abandon the well on site before constructing the new residence. The property was not included in the Sewer Authority Midcoast (SAM) Sewer Assessment District. The applicant will need to purchase two benefit sewer units prior to issuance of a building permit.

The proposed development consists of a new single-family residence on an infill lot in an existing developed neighborhood where public services and infrastructure are available, and will not affect coastal access, impact environmentally sensitive habitat, or block protected views. Therefore, the proposed development is consistent with the Local Coastal Program.

**Table 1. Project Conformance with R-1 Zoning Requirements for Substandard Lots**

<b>Development Standards</b>	<b>R-1 Zoning Requirements for Substandard Lots</b>	<b>Proposed</b>
Min. Site Area	5,000 sq. ft.	5,594 sq. ft. (existing)
Min. Average Site Width	50 ft.	45 ft. (existing)
Min. Front Setback	20 ft.	22 ft.
Min. Interior Side Setback	5 ft.	5 ft. (left side) 5 ft. (right side)
Min. Combined Side Setback	20% of 45 ft. (9 ft.)	10 ft.
Min. Rear Setback	20 ft.	46 ft.
Max. Single-Story Height	28 ft.	22 ft. 8 in.
Max. Two-Story Lot Coverage	35% (1,958 sq. ft.)	33% (1,835 sq. ft.)
Max. Floor Area Ratio	0.5 to 1 (2,797 sq. ft.)	0.48 to 1 (2,701 sq. ft.)
Min. Parking Garage Spaces for the Single Family Residence	1-car enclosed garage space and one covered space not located in the front yard setback.	2-car enclosed garage spaces
Maximum Building Envelope	Section 18.06.040(g) of Muni Code	Conforms

### **Design Compatibility**

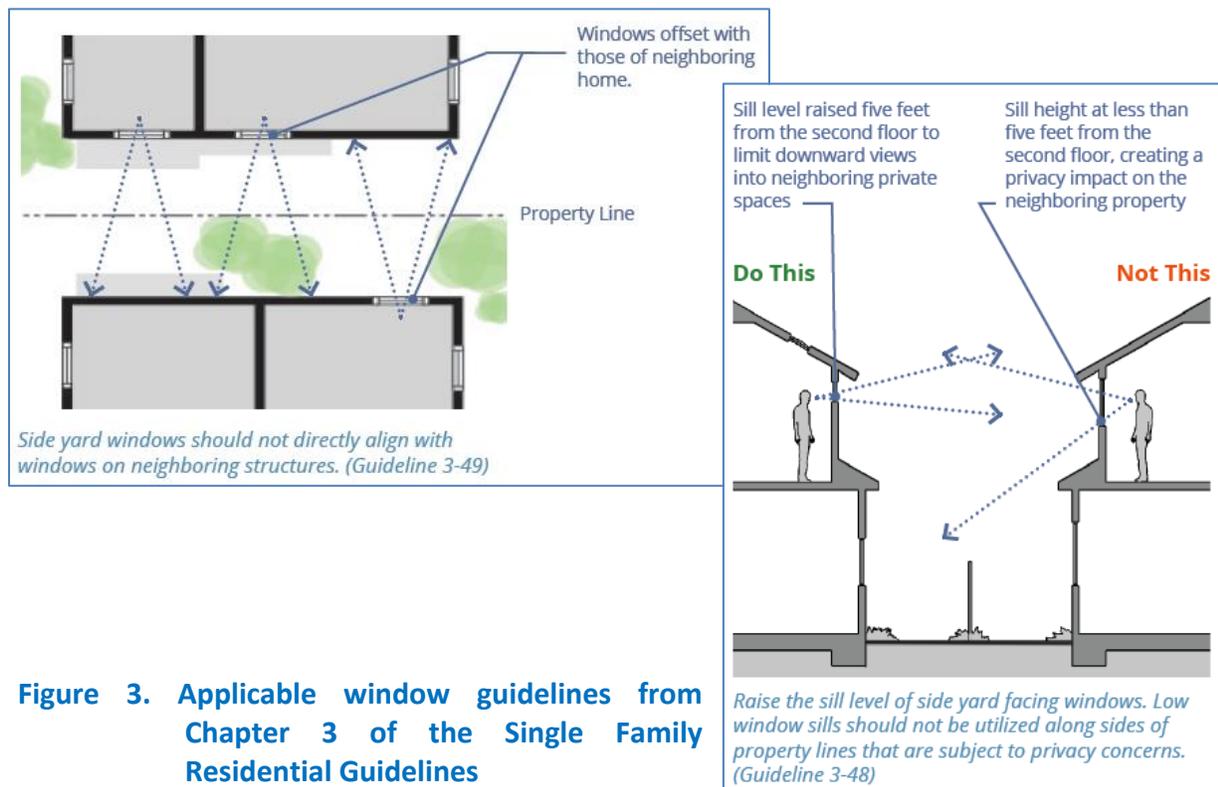
This project involves the construction of a new single-story home. The applicant has gone through great measures to ensure that the proposed project is in compliance with the Single-Family Residential Design Guidelines. This includes the design, materials and overall neighborhood development pattern as it relates to the proposed home.

As mentioned earlier, the surrounding neighborhood is dominated by two story houses. The proposed two story home would provide architectural consistency with the surrounding neighborhood. In compliance with Design Guideline 2-1, the 20 foot front yard setback of the proposed home would be consistent with the overall contextual setback pattern of this block of Valdez Avenue.

Attention to detail has been given to the design and materials of both the new home and site improvements. The applicant has selected pervious pavers in a natural color for all hard surfaces on the property. Double-hung windows have been selected throughout the new home, providing visual interest to the suburban development. Gable roof elements covered in composition shingles would be utilized on all sides of the new home, providing consistent building articulation in compliance with Guideline 3-18.

The Design Guidelines contain measures discouraging visual prominence of garage doors, which the applicant has addressed through the design of the residence. The prominent feature of the front elevation is the large entry porch, reflecting the Craftsman style of the home, in compliance with Design Guideline 3-21. The selected garage door has the appearance of two garage doors, further breaking up the front elevation. These design features provide depth and interest to the garage face, deemphasizing the garage's presence as viewed from Valdez Avenue and Ocean View Park across the street.

Guideline 2-4 discourages the removal of mature trees where practical. In order to maintain the mature Cypress trees in the rear of the residence, the applicant has elected to construct a two story residence. By doing so, the footprint of the new residence is decreased, allowing for a larger rear yard setback (46 feet) than the minimum required (20 feet) and a greater separation between the Cypress trees and the new house. Staff has added additional Conditions of Approval (Conditions #B2 and D5) requiring a tree protection plan prepared by a qualified arborist to ensure the protection of these Cypress trees during construction.



**Figure 3. Applicable window guidelines from Chapter 3 of the Single Family Residential Guidelines**

Chapter 3 of the Design Guidelines encourages second story window design that minimizes privacy impacts on adjacent residential properties. Two double hung windows along the east elevation within the second story master bedroom have the potential to create privacy impacts on second story living spaces within the neighboring home at 416 Valdez Avenue. Staff has added an additional Condition of Approval requiring the applicant to provide modifications to the building permit plans to decrease the potential privacy impact or provide proof that the new windows do not directly align with the second story windows of the residence at 416 Valdez Avenue. The applicant has expressed willingness to provide a solution to this concern.

### **ENVIRONMENTAL DETERMINATION**

The project is Categorically Exempt pursuant to California Administrative Code Section 15303(a), in that the project consists of the construction of one single-family residence.

### **CONCLUSION**

Based on the above analysis, staff concludes that the proposed new residence and site improvements are consistent with the Zoning Ordinance, General Plan, Local Coastal Program, and Residential Design Guidelines, is compatible with surrounding uses, and conforms to the requirements of the California Environmental Quality Act. Staff

recommends approval of the project based on the recommended findings and conditions of approval (Exhibits A and B).

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**ATTACHMENTS**

1. Draft Resolution with Findings and Evidence, Exhibit A and Conditions of Approval, Exhibit B.
2. Project Plans
3. Tree Removal Approvals, Dated March 7 and April 19, 2016
4. Tree Replacement Letter

**COMMUNITY DEVELOPMENT DIRECTOR RESOLUTION CDR-16-18  
RESOLUTION FOR APPROVAL  
PDP-16-040**

**A RESOLUTION OF THE COMMUNITY DEVELOPMENT DIRECTOR OF THE CITY OF HALF MOON BAY APPROVING A COASTAL DEVELOPMENT PERMIT AND ARCHITECTURAL REVIEW TO ALLOW THE ABANDONMENT OF THE EXISTING WATER WELL AND CONSTRUCTION OF A NEW 2,706 SQUARE-FOOT TWO-STORY, SINGLE-FAMILY RESIDENCE ON A 5,594 SQUARE-FOOT LOT AT 412 VALDEZ AVENUE IN THE R-1, SINGLE FAMILY RESIDENTIAL ZONING DISTRICT AND THE RESIDENTIAL-MEDIUM DENSITY GENERAL PLAN DESIGNATION (APN 056-118-300)**

**WHEREAS**, an application was submitted requesting approval of Coastal Development Permit and Architectural Review to allow the abandonment of the existing water well and construction of a new 5,594 square-foot two-story, single-family residence on a 5,594 square-foot lot at 412 Valdez Avenue in the R-1, Single-Family Residential Zoning District and the Residential-Medium Density General Plan designation (APN 056-118-300); and

**WHEREAS**, the procedures for processing the application have been followed as required by law; and

**WHEREAS**, the Community Development Director conducted a duly noticed public hearing on December 7, 2016, at which time all those desiring to be heard on the matter were given an opportunity to be heard; and

**WHEREAS**, the Community Development Director considered all written and oral testimony presented for consideration; and

**WHEREAS**, the Community Development Director has determined that the requested Coastal Development Permit for the construction of a new 2,706 square-foot two-story, single-family residence is exempt from CEQA pursuant to California Administrative Code Section 15303 (a) which exempts the construction of one single-family residence; and

**WHEREAS**, the Community Development Director has made the required findings for approval of the project, set forth in Exhibit A to this resolution;

**NOW, THEREFORE, BE IT RESOLVED** that, based upon the Findings in Exhibit A and subject to the Conditions of Approval contained in Exhibit B, the Community Development Director approves the application (PDP-16-040).

**PASSED AND ADOPTED** by the City of Half Moon Bay Community Development Director at a duly noticed public hearing held December 7, 2016.

APPROVED:

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John Doughty, Community Development Director

**EXHIBIT A  
FINDINGS AND EVIDENCE  
Community Development Director Resolution CDR-16-18  
PDP-16-040**

**Coastal Development Permit – Findings for Approval**

The required Coastal Development Permit for this project may be approved or conditionally approved only after the approving authority has made the following findings per Municipal Code Section 18.20.070:

1. **Local Coastal Program** – *The development as proposed or as modified by conditions, conforms to the Local Coastal Program.*

**Evidence:** The project consists of construction of a new single-family residence on an infill site in an existing neighborhood where public services and infrastructure are generally available. The project conforms to all City requirements, will not impact coastal resources and is consistent with the policies of the City’s Land Use Plan (LUP).

**Coastal Act 30240(b) and Policy 3-3 (b):** *Development in areas adjacent to environmentally sensitive habitat areas shall be sited and designed to prevent impacts which would significantly degrade such areas, and shall be compatible with the continuance of such habitat areas.*

**Compliance:** The subject site is not adjacent to a mapped environmentally sensitive habitat area.

**Policy 7-1:** *The City will establish regulations to protect the scenic corridor of Highway 1, including setbacks for new development, screening of commercial parking and landscaping associated with new development. The minimum standards shall include all areas within 200 yards of State Highway 1 which are visible from the road.*

**Compliance:** The subject site is not located within 200 yards of State Highway 1 and Highway 1 is not designated a Scenic Highway within the City limits of Half Moon Bay.

**Policy 7-5:** *All new development, including additions and remodeling, shall be subject to design review.*

**Compliance:** The proposed residence has been subject to design review by the Community Development Director.

**Policy 7-11:** *New development along primary access routes from Highway 1 to the beach,*

*as designated on the Land Use Map, shall be designed and sited so as to maintain and enhance the scenic quality of such routes, including building setbacks, maintenance of low height of structures, and landscaping which establishes a scenic gateway and corridor.*

**Compliance:** The proposed single-family residence is not located along a primary access route from Highway 1 and will not affect coastal access.

**Coastal Act 30244:** *Where development would adversely impact archaeological or paleontological resources as identified by the State Historic Preservation Officer, reasonable mitigation measures shall be required.*

**Compliance:** The proposed single-family residence is not located at or near identified archaeological or paleontological resources. If cultural resources or paleontological resources are unexpectedly encountered during subsurface excavation, the permit has been conditioned to require that construction halt until the find can be evaluated and appropriate mitigation identified.

2. **Growth Management System** – *The development is consistent with the annual population limitation system established in the Land Use Plan and Zoning Ordinance.*

**Evidence:** The proposed site has been granted a valid Measure D Certificate for construction of one single-family residence; therefore the project conforms to the requirements of the City's growth management system.

3. **Zoning Provisions** – *The development is consistent with the use limitations and property development standards of the base district as well as the other requirements of the Zoning Ordinance.*

**Evidence:** The existing lot width of the subject property (45 feet) is less than the minimum required lot width (50 feet) for the R-1, Single Family Zoning District. Therefore the property is considered "substandard", which requires compliance with the R-1, Single Family Residential development standards for substandard lots. The proposed residence conforms to the requirements of the R-1, Single Family Residential Zoning District, which allows for residential uses. The proposed setbacks, lot coverage, height, parking and open space meet the requirements of the R-1, Single Family Residential Zoning District and other relevant provisions of the Zoning Code.

4. **Adequate Services** – *The proposed development will be provided with adequate services and infrastructure in a manner that is consistent with the Local Coastal Program.*

**Evidence:** The site is located in an existing developed neighborhood where utilities and services are generally available. The site is within the Sewer Authority Mid-Coastside (SAM) Sanitary Sewer District. However, the site was not included in the SAM assessment district. Therefore, the applicant will need to purchase two benefit sewer units prior to the issuance

of the building permit and connecting the new residence to the sanitary sewer. The site is also within the Coastside County Water District's service area. The property currently has a 5/8" line assigned to it, allowing the installation of a 5/8" waterline to property. As Conditioned, the applicant will be required to submit and be issued a water well abandonment permit through the San Mateo County Health Department and formally abandon the well on site before constructing the new residence.

5. **California Coastal Act** – *Any development to be located between the sea and the first public road parallel to the sea conforms to the public access and public recreation policies of Chapter 3 of the California Coastal Act.*

**Evidence:** The subject property is located on the west side of Cabrillo Highway but outside of the California Coastal Commission's Appeals Jurisdiction.

### **Architectural Site and Design Review – Finding**

The required Architectural and/or Site and Design Review for this project may be approved or conditionally approved only after the approving authority has made the findings per Municipal Code Section 14.37.040.

1. *That such buildings, structures, planting, paving and other improvements shall be so designed and constructed that they will not be of unsightly or obnoxious appearance to the extent that they will hinder the orderly and harmonious development of the city;*

**Evidence:** Zoning Code Section 18.06.010 states that the intent of the residential chapter is to establish residential districts and guide the orderly development within each district. It further states that the residential district regulations are intended to ensure provision of adequate light, air, privacy and open space for each dwelling by establishing reasonable development standards for the mass, scale and location on a building site for all new residential construction and to achieve a high standard of site and building design and design compatibility with surrounding neighborhoods. The subject parcel is 5,594 square feet in area and 45 feet wide, which is less than the minimum required width (50 feet) for the R-1 Zoning District. The site is more than 55% of the minimum average site width and thus, the site considered "substandard". Therefore, the proposal is subject to the R-1 development standards for substandard lots identified in table E in Section 18.06.050. As indicated in Table 1, the proposed residence conforms to the R-1 development standards for substandard lots. The project is also in substantial conformance with the Single-Family Residential Design Guidelines, the objectives of which include ensuring compatible design within existing neighborhood contexts.

In making the above finding, the Director has considered the character and quality of design, aesthetic compatibility with neighboring properties; site development characteristics; other on-site improvements including but not limited to parking, paved areas, and landscaping; building materials and colors; pedestrian, equestrian, bicycle, and

vehicular circulation; disturbance of existing topography, trees, shrubs, and other natural features; and building exterior features as authorized in Municipal Code Section 14.37.030, has reviewed and considered all of the following criteria as identified in Municipal Code Section 14.37.035 and 18.20.070 (F):

- a. Where more than one building or structure will be constructed, the architectural features and landscaping thereof shall be harmonious. Such features include height, elevations, roofs, material, color and appurtenances.

**Evidence:** The project does not include any accessory structures.

- b. Where more than one sign will be erected or displayed on the site, the signs shall have a common or compatible design and locational positions and shall be harmonious in appearance.

**Evidence:** The project does not include signs.

- c. The material, textures, colors and details of construction shall be an appropriate expression of its design concept and function, and shall be compatible with the adjacent and neighboring structures and functions. Colors of wall and roofing materials shall blend with the natural landscape and be non-reflective.

**Evidence:** Proposed exterior materials include a combination of Hardiplank horizontal siding and shingles. Proposed colors are grey and off-white that blend with the existing suburban landscape. Wall and roofing materials are non-reflective.

- d. The design shall be appropriate to the function of the project and express the project's identity. The planning and siting of the various functions and buildings on the site shall create an internal sense of order and provide a desirable environment for occupants, visitors, and the general community.

**Evidence:** The house design is appropriate to its residential function. The siting of the house, parking, and open space on the lot is in conformance with setbacks and other provisions of in the Zoning Code. Its small scale and architectural treatment, create an internal sense of order and a desirable environment for occupants, visitors and the general community.

- e. Roofing materials shall be wood shingles, wood shakes, tile or other materials such as composition as approved by the appropriate design review authority. No mechanical equipment shall be located upon a roof unless it is appropriately screened.

**Evidence:** Roofing material consists of black asphalt shingles, which is compatible with the proposed design. No mechanical equipment is proposed on the roof of the residence.

- f. The proposed development shall be compatible in terms of height, bulk and design with other structures and environment in the immediate area.

**Evidence:** The massing and scale of the proposed residence is compatible with nearby residences. The surrounding neighborhood contains a mixture of single and two story houses. Both houses adjacent to the subject property are two stories. The proposed two-story home would provide architectural consistency with the dominate two-story theme of the surrounding neighborhood.

- g. The proposed design shall be consistent with the applicable elements of the general plan.

**Evidence:** The project site has a General Plan/LCP Land Use Plan designation of Medium Density Residential. The project is consistent with goals and policies of the Housing Element, which promote infill housing in existing neighborhoods and encourage provision of high quality housing for a wide range of households.

The proposed development is consistent with the Local Coastal Program. It consists of a new single-family residence on an infill site in an existing neighborhood where public services and infrastructure are available. The proposed residence will not affect coastal access or block protected views. The Conditions of Approval include requirements for sound attenuation in conformance with the Noise Element provisions regarding residential uses subject to transportation noise.

- h. If the project site is located in an area considered by the committee as having a unified design character or historical character, the design shall be compatible with such character.

**Evidence:** The site is not located in an area having a unified design character or historical character. The residences in the area were developed over a period of decades in various styles and configurations. Two-story homes of similar craftsman style exist across along Valdez Avenue within this portion of Miramontes Tract.

- i. The design shall promote harmonious transition in scale and character in areas located between different designated land uses.

**Evidence:** There are no different designated land uses in the immediate area surrounding the site.

- j. The design shall be compatible with known and approved improvements and/or future construction, both on and off the site.

**Evidence:** There are no approved, but not yet constructed projects in the area of the project site.

- k. Sufficient ancillary functions provided to support the main functions of the project shall be compatible with the project's design concept.

**Evidence:** A garage, driveway and open space are provided to support the residential use consistent with Zoning Code requirements. These are compatible with the project design. The two car garage door is of double door style in sufficient size for access to the garage itself.

- l. Access to the property and circulation systems shall be safe and convenient for equestrians, pedestrians, cyclists and vehicles.

**Evidence:** The project includes a driveway that provides convenient and safe access from the public street for pedestrians, cyclists, and vehicles. The site is too small to accommodate equestrians.

- m. The amount and arrangement of open space and landscaping shall be appropriate to the design and the function of the structures.

**Evidence:** Private open space is located at the rear of the house, and landscaping is provided at the front and rear of the house in appropriate locations. The project conforms to the maximum lot coverage and minimum setbacks required by the Code.

- n. Where feasible, natural features shall be appropriately preserved and integrated with the project.

**Evidence:** The project will not remove heritage trees or other existing natural features.

- o. Landscaping shall be in keeping with the character or design of the building, and preferably clustered in natural appearing groups, as opposed to being placed in rows or regularly spaced. The landscape design concept for the site, as shown by the relationship of plant masses, open space, scale, plant forms and foliage textures and colors, shall create a desirable and functional environment and the landscape concept shall depict an appropriate unity with the various buildings on the site. Plant material shall be suitable and adaptable to the site, shall be capable of being properly maintained on the site, and shall be of a variety which would tend to be drought-resistant and to reduce consumption of water in its installation and maintenance.

**Evidence:** The project includes landscaping in the front and rear setbacks that is appropriate to a single-family residence on a small lot. The project includes drought-tolerant plant material that is suitable to the site, requires low maintenance and is clustered rather than in rows. The new residence has been designed to maintain the existing Cypress trees in the rear of the property.

- p. The design shall be energy efficient and incorporate renewable energy design elements including, but not limited to:
1. Exterior energy design elements;
  2. Internal lighting service and climatic control systems; and
  3. Building siting and landscape elements.

**Evidence:** The project will conform to the energy and lighting requirements of the Uniform Building Code.

2. *That such buildings, structures, planting, paving and other improvements will not impair the desirability or opportunity to attain the optimum use and the value of the land and the improvements, or otherwise impair the desirability of living or working conditions in the same or adjacent areas; and*

**Evidence:** The proposed project has been designed in conformance with the requirements of the R-1 Single-Family Residential Zoning District (Zoning Code Section 18.06.050, Table B). The project is also in substantial conformance with the Single-Family Residential Design Guidelines, the objectives of which include maintaining strong property values, compatible neighborhoods, and a healthy environment.

3. *The project has been designed in conformance and consistency with the Single-Family Residential Design Guidelines (where applicable).*

**Evidence:** This project involves the construction of a new single-story home. The applicant has gone through great measures to ensure that the proposed project is in compliance with the Single-Family Residential Design Guidelines. This includes the design, materials and overall neighborhood development pattern as it relates to the proposed home.

As mentioned earlier, the surrounding neighborhood is dominated by two story houses. The proposed two story home would provide architectural consistency with the surrounding neighborhood. In compliance with Design Guideline 2-1, the 20 foot front yard setback of the proposed home would be consistent with the overall contextual setback pattern of this block of Valdez Avenue.

Attention to detail has been given to the design and materials of both the new home and site improvements. The applicant has selected pervious pavers in a natural color for all hard surfaces on the property. Double-hung windows have been selected throughout the new home, providing visual interest to the suburban development. Gable roof elements covered in composition shingles would be utilized on all sides of the new home, providing consistent building articulation in compliance with Guideline 3-18.

The Design Guidelines contain measures discouraging visual prominence of garage doors, which the applicant has addressed through the design of the residence. The prominent feature of the front elevation is the large entry porch, reflecting the Craftsman style of the home, in compliance with Design Guideline 3-21. The selected garage door has the

appearance of two garage doors, further breaking up the front elevation. These design features provide depth and interest to the garage face, deemphasizing the garage's presence as viewed from Valdez Avenue and Ocean View Park across the street.

Guideline 2-4 discourages the removal of mature trees where practical. In order to maintain the mature Cypress trees in the rear of the residence, the applicant has elected to construct a two story residence. By doing so, the footprint of the new residence is decreased, allowing for a larger rear yard setback (46 feet) than the minimum required (20 feet). Staff has added additional Conditions of Approval (Conditions #B2 and D5) requiring a tree protection plan prepared by a qualified arborist to ensure the protection of these Cypress trees during construction.

### **Environmental Review – Finding**

**CEQA** – The project will not have a significant effect on the environment.

**Evidence:** The project is Categorically Exempt pursuant to California Code of Regulations Section 15303 (a) in that the project consists of the construction of one single-family residence.

**EXHIBIT B**  
**CONDITIONS OF APPROVAL**  
**Community Development Director Resolution CDR-16-18**  
**PDP-16-040**

**A. The following Conditions shall apply to the subject site:**

1. CONFORMANCE WITH APPROVED PLANS. Development of the site shall conform to the approved plans entitled New Single Family Residence TAFFERA FAMILY TRUST 412 Valdez Avenue, Half Moon Bay, California 94019 with a City date stamp of August 30, 2016, except for any revisions required by this permit. The Community Development Director shall review and may approve any deviation from the approved plans that is determined minor in nature. Any other change shall require the submittal of a major modification application and fees and shall be subject to a public hearing as required by Title 18. (Planning)
2. CONFORMANCE WITH CONDITIONS OF APPROVAL. The permittee shall construct and operate this Project in full conformance with these Conditions of Approval. Any revision of the Conditions of Approval shall require submittal of a major modification subject to a public hearing as required by Title 18. (Planning)
3. CONFORMANCE WITH THE MUNICIPAL CODE. No part of this approval shall be construed to permit a violation of any part of the Half Moon Bay Municipal Code. (Planning)
4. LIGHTING. All exterior lighting shall be fully shielded so that no light source is visible from outside the property, except as otherwise expressly approved. (Planning)
5. SIDEWALK MAINTANENCE AND LIABILITY. It shall be the duty of the Property Owner(s) whose property is adjacent to any portion of a public street or place to maintain any sidewalks along the project frontage in a safe and non-dangerous condition. Sidewalk maintenance shall include removal and replacement of concrete to eliminate tripping hazards; and pruning and trimming of trees, shrubs, ground cover and other landscaping within the public right-of-way. The Property Owner has the primary and exclusive duty to fund and perform such maintenance and repair, whether or not the City has notified the property owner of the need for such maintenance or repairs or has performed similar maintenance or repairs in the past, pursuant to §12.18.020 and §12.18.030 of the Half Moon Bay Municipal Code. (Engineering)
6. LANDSCAPE MAINTENANCE. The applicant/owner shall ensure that all landscaped areas and/or fences are continuously maintained, and all plant material is maintained free of refuse and weeds and in a healthy growing condition. (Planning)

**B. The following Conditions shall be fulfilled prior to the issuance of building permits:**

1. SIGNED CONDITIONS OF APPROVAL. The applicant/owner shall submit a signed copy of the conditions of approval to the Planning Division prior to issuance of a building permit. (Planning)
2. TREE PROTECTION PLAN. A tree protection plan prepared by a qualified arborist shall be submitted, reviewed and approved to ensure the protection of the Heritage Monterey Cypress trees on the site as well as the Monterey Cypress tree on the adjacent property at 701 Alsace Loraine Avenue. The approved tree protection plan shall be attached to the job copy of the building permit plan set. (Planning)
3. REQUIRED PLAN REVISIONS. Prior to issuance of building permits, the applicant shall submit revised plans providing the following:
  - a) The plans submitted with the Building Permit Application shall be modified to provide modifications to decrease the potential privacy impact from the second story master bedroom windows along the east elevation or provide proof that the new windows do not directly align with the second story windows of the residence at 416 Valdez Avenue. (Planning)
4. VALID MEASURE D CERTIFICATE. No building permit shall be issued unless the Measure D Certificate issued for the property has not expired and remains valid to the satisfaction of the Community Development Director. (Planning)
5. WATER WELL ABANDONMENT/DESTRUCTION. Prior to the issuance of the building permit, the applicant shall submit and be issued a water well abandonment permit from the San Mateo County Environmental Health Services Division. The project shall be in compliance with all applicable regulations and requirements of the San Mateo County Environmental Health Services Division. (Planning)
6. CONSTRUCTION PLANS. File Number PDP-16-040 and the Conditions of Approval for this project shall be provided on the cover page of the building permit application plan submittal. All plans, specifications, engineering calculations, diagrams, reports, and other data for construction of the building and required improvements shall be submitted with the appropriate permit application to the City's Building and Engineering Divisions for review and approval. Computations and back-up data will be considered a part of the required plans. Structural calculations and engineering calculations shall be prepared, wet-stamped and signed by an engineer or architect licensed by the State of California. The plans must show the location of the sewer connection, and a property line sewer cleanout must be installed prior to Building Permit approval. (Planning)
7. WATER CONSERVATION IN LANDSCAPING. If the project includes 1,000 square feet or more of irrigated landscaping (new or rehabilitated) the permittee shall submit landscape and

irrigation plans and an Outdoor Water Efficiency Checklist that demonstrate compliance with the City's Water Conservation in Landscaping Ordinance (Chapter 13.04 of the Municipal Code) prior to issuance of building permits to the satisfaction of the Community Development Director. (Planning)

8. SURVEY REQUIRED. Submit a detailed topographic/site boundary survey certified by a licensed surveyor with building application plans. The survey shall include a baseline elevation datum point on, or close to the construction site, indicating existing grade of the datum. This datum point shall be permanent, marked, shall remain fixed in the field, and shall not be disturbed throughout the building process. Examples of datum points include: fire hydrants, manhole covers, survey markers, and street curbs. This datum point shall be shown on all site plans including revised/resubmitted plans. The survey must show the footprint and roof plan of the proposed residence and identify the existing grade elevations at the corners and roof ridgeline of the residence. (Building)
9. EVIDENCE OF WATER CONNECTION CAPACITY. Prior to the issuance of building permits, the permittee shall submit a letter from Coastside County Water District certifying that the subject site has an adequately-sized water connection for this approved project. (Building)
10. EVIDENCE OF SEWER CONNECTION CAPACITY. Prior to the issuance of building permits, the permittee shall demonstrate issuance of a sewer permit from the Sewer Authority Mid-Coast. (Building)
11. CONSTRUCTION PLANS. Construction plans submitted for building permit(s) shall include a plan sheet showing utility connections, trench restoration details, driveway apron (driveway apron width, spacing between driveways, slopes, etc.), and other improvements in the public right-of-way meeting City standards. (Engineering)
12. LOT GRADING, MATERIALS, EQUIPMENT AND VEHICLE STORAGE. No lot site grading, preparation, storage, or placement of construction materials, equipment, or vehicles shall take place prior to issuance of a building permit. Any earth movement on or off the site in excess of 50 cubic yards shall require the submittal of a grading plan for review by the City Engineer and issuance of a grading permit. Lot Grading includes, but is not limited to, any leveling, scraping, clearing, or removal of lot surface area. Materials, Equipment, and Vehicles include, but are not limited to:
  1. All masonry, wood, and steel construction materials;
  2. All construction-related equipment and storage containers; and
  3. All construction-related vehicles, including temporary trailers. (Engineering)
13. STREET FRONTAGE IMPROVEMENTS. Construction plans submitted for building permits shall include design plans for construction of street improvements across the project

frontage on Terrace Avenue in conformance with City Design Standards for approval by the City Engineer. The frontage improvements shall include the following:

- a) Construction of curb, gutter, and sidewalk (concrete color and scoring shall match existing) across the project frontage, tying into the existing curbs, gutters and sidewalks in the front of the adjacent properties. City standard details shall be used for curb, gutter, sidewalk and driveway construction;
- b) Installation of at least one street tree on private property adjacent to the sidewalk and street.

All improvements shall comply with ADA accessibility standards and with the line of sight requirements of Half Moon Bay Zoning Code Section 18.06.040(B). Construction of all approved improvements shall be completed before the City issues a certificate of occupancy. (Engineering)

14. LOT DRAINAGE PLAN AND ON-SITE DETENTION Construction plans submitted for building permits shall include a Lot Drainage Plan showing how the surface runoff is retained on the site and the remainder is drained to the public right-of-way. Plans shall include design details and supporting calculations for storm water detention on-site for the additional runoff from a ten year frequency storm of two hour duration. Plans shall show how the rear and side yards will properly drain to an approved BMP facility, and how the finished grades on the property relate to the existing grades on adjacent property. The Plan shall include pad elevation, finished floor elevation, site high and low points, drainage swales, area drains, and existing grade at adjacent property. The permittee shall provide appropriate measures to discharge the flood waters from any unfinished floor areas. (Engineering)
15. STORMWATER MANAGEMENT-TREATMENT (FOR NON-REGULATED PROJECTS). Non-regulated projects consist of single-family residences and other small projects that create and/or replace less than 5,000 square feet of impervious surface. Construction plans submitted for building permits shall include a storm water management-treatment plan showing implementation of at least one of the six Low Impact Development (LID) measures listed below:
  - a. Direct runoff into cisterns or rain barrels and use rainwater for irrigation or other non-potable use;
  - b. Direct roof runoff into vegetated areas;
  - c. Direct runoff from sidewalks, walkways, and/or patios into vegetated areas;
  - d. Direct runoff from driveways and /or uncovered parking lots into vegetated areas;
  - e. Construct sidewalks, walkways, and/or patios with permeable surfaces; or

- f. Construct bike lanes, driveways, and/or uncovered parking lots with permeable surfaces. (Engineering)

Permittee shall also submit the 'stormwater checklist for small projects' with the building plan submittal.

16. COPPER BUILDING ELEMENTS. The building plans shall specify that all copper building elements will be pre-patinated at the factory, or if patination will occur on the site, the plans shall identify best management practices in conformance with the *San Mateo Countywide Water Pollution Prevention Program Requirements for Architectural Copper*, to the satisfaction of the City Engineer. (Engineering)
17. EROSION AND SEDIMENT CONTROL. An erosion and sediment control plan shall be submitted that shows effective Best Management Practices (BMP) and erosion and sediment control measures for the site. Construction plans shall also include the "construction best management practices" plan sheet. (Engineering)
18. UNDERGROUND UTILITIES/SERVICES. Electric, telecommunication, and cable and utility service to the property shall be through underground service connections only. No overhead utilities are allowed. (Engineering)
19. STREET/PUBLIC RIGHT-OF-WAY CUTS FOR UTILITY CONNECTIONS. Street cuts for utility connections that are less than twenty (20) feet apart shall be repaired with a single patch. Asphalt repair and overlay shall be in accordance with the City Standard Details. (Engineering)
20. SEWER CONNECTION FEE. The proposed development is subject to a sewer connection fee pursuant to Section 13.36.070 of the Half Moon Bay Municipal Code. The fee shall be paid to the City prior to issuance of building permits. (Engineering)
21. FIRE CLEARANCE REQUIREMENTS. The permittee shall comply with all applicable fire and building codes and standards relating to fire and panic safety as identified by the Coastside Fire Protection District during the building permit process. (Fire)
22. FIRE SPRINKLERS AND FIRE DISTRICT REQUIREMENTS. Pursuant to Fire District ordinance, the permittee shall install an automatic fire sprinkler system **throughout** the proposed or improved dwelling. All areas that are accessible for storage purposes shall be equipped with fire sprinklers. The plans for this system must be submitted to the City of Half Moon Bay Building Division to the satisfaction of the Building Official prior to issuance of building permits. Upon submission of plans, the City will forward a complete set to the Coastside County Fire Protection District for review. Fees for automatic fire sprinkler systems shall be paid to the City prior to plan review. (Fire)
23. HARD-WIRED SMOKE DETECTORS/ALARMS. Pursuant to the 2013 California Building and Residential Code, State Fire Marshal regulations and Coastside Fire District Ordinance 2013-Resolution CDR 16-18

03, the permittee shall install smoke detectors which are hard-wired, interconnected and have battery backup in each new or reconditioned sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. A minimum of one detector per floor is required. For alterations: If there is an attic, basement, crawl space or removal of a wall or ceiling that provides access, then all smoke alarms shall be hardwired and interconnected. Building plan submittals shall demonstrate conformance with these requirements to the satisfaction of the Building Official prior to issuance of building permits. (Fire)

24. FIRE HYDRANT. Pursuant to 2013 California Fire Code, Appendix B and C, the permittee shall provide a Fire District approved fire hydrant (CLOW 960) within 250 feet of the proposed single-family dwelling unit measured by way of drivable access prior to issuance of an occupancy permit. If the single-family dwelling is on a dead end street, then the hydrant shall be within 200 feet. The hydrant must produce a minimum fire flow of 1,000 gallons per minute at 20 pounds per square inch residual pressure for 2 hours. Additional fire flow is required for single-family dwellings over 3,600 square feet, and all commercial structures. Contact the Coastside County Fire Protection District for fire flow requirements. Contact Coastside County Water District prior to applying for a building permit to obtain flow data and District specifications and regulations on installing a fire hydrant. (Fire)
25. COASTSIDE COUNTY WATER DISTRICT - REGULATIONS. The project shall comply with all applicable regulations and requirements of the Coastside County Water District. Water service shall not be in the same trench as other utilities. (Water District)

**C. The following conditions shall be implemented prior to and during construction:**

1. ARCHAEOLOGY-DISCOVERY OF HUMAN REMAINS. Pursuant to Section 7050.5 of the Health and Safety Code, and Section 5097.94 of the Public Resources Code of the State of California, in the event of the discovery of human remains during construction, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent remains. The County Coroner shall be notified and shall make a determination as to whether the remains are Native American. If the Coroner determines that the remains are not subject to his authority, he shall notify the California Native American Heritage Commission who shall attempt to identify descendants of the deceased Native American(s). If no satisfactory agreement can be reached as to the disposition of the remains pursuant to this State law, then the permittee shall re-inter the human remains and items associated with Native American burials on the property in a location not subject to further subsurface disturbance. (Planning)

2. ARCHAEOLOGY-DISCOVERY OF RESOURCES. If subsurface historic or archaeological resources are uncovered during construction, all work shall stop, the applicant shall notify the Community Development Director and retain a qualified archaeologist to perform an archaeological reconnaissance and identify any mitigation measures required to protect archaeological resources. Subsurface excavation shall not resume until expressly authorized by the Director. (Building)
3. CONSTRUCTION TRAILERS. Temporary construction trailers are permitted as accessory uses in conjunction with the development of this site, subject to the following conditions:
  - a. The construction trailer shall be used as a temporary construction office only.
  - b. Neither sanitation facilities nor plumbed water is permitted within the trailer.
  - c. No overnight inhabitation of the construction trailer is permitted.
  - d. No construction trailers are permitted on site prior to building permit issuance.
  - e. The construction trailer shall be removed prior to issuance of a certificate of occupancy. (Planning)
4. AIR QUALITY BEST MANAGEMENT PRACTICES. The project shall implement the following standard BAAQMD dust control measures during all phases of construction on the project site:
  - All active construction areas shall be watered twice daily or more often if necessary. Increased watering frequency shall be required whenever wind speeds exceed 15 miles-per-hour.
  - Pave, apply water three times daily, or apply non-toxic soil stabilizers on all unpaved access roads and parking and staging areas at construction sites.
  - Cover stockpiles of debris, soil, sand, and any other materials that can be windblown. Trucks transporting these materials shall be covered.
  - All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day or as often as necessary to keep them free of dust and debris associated with site construction. The use of dry power sweeping is prohibited.
  - Subsequent to clearing, grading, or excavating, exposed portions of the site shall be watered, landscaped, treated with soil stabilizers, or covered as soon as possible. Hydroseed or apply (non-toxic) soil stabilizers to inactive construction areas and previously graded areas inactive for 10 days or more.
  - Installation of sandbags or other erosion control measures to prevent silt runoff to public roadways.
  - Replanting of vegetation in disturbed areas as soon as possible after completion of construction.
  - Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to five minutes. Clear signage shall be provided for construction workers at all access points.

- All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
  - Post a publicly visible sign with the telephone number and person to contact at the City of Half Moon Bay regarding dust complaints. This person shall respond and take corrective action within 48 hours. The BAAQMD's phone number shall also be visible to ensure compliance with applicable regulations.
5. HAZARDOUS MATERIALS. Any materials deemed hazardous by the San Mateo County Department of Health that are uncovered or discovered during the course of work under this permit shall be disposed in accordance with regulations of the San Mateo County of Health. (Building)
  6. COMPLIANCE WITH CBC. All structures shall be constructed in compliance with the standards of the 2013 California Codes of Regulations Title 24, including Building Code, Residential Code, Administrative Code, Mechanical Code, Plumbing Code, Electrical Code, Energy Code, Fire Code and Green Building Code to the satisfaction of the Building Official. (Building)
  7. FIRST FLOOR HEIGHT VERIFICATION. Prior to below floor framing or concrete slab steel reinforcement inspection, a stamped and signed building height verification letter shall be submitted to the City from a licensed land survey certifying that the first floor height as constructed is equal to (or less than) the elevation specified for the first floor height in the approved plans. The building pad shall be at least one-foot above the centerline crown of the roadway or the top of the curb. (Building)
  8. OVERALL PROJECT HEIGHT. Maximum overall height of the project, including any grading, foundation, pad, and building elevations shall be calculated using the elevation points indicated on the topographic survey map submitted at the time of application. The approved height of all projects developed in the City will be measured from existing grade as indicated on the submitted topographical survey. (Building)
  9. COMPLETION OF UTILITIES. Any public utilities requiring relocation as a result of the construction of the building(s) or improvements under this permit shall be relocated at the owner's expense. (Building)
  10. CONSTRUCTION HOURS. Construction work shall be limited to the hours of 7:00 a.m. to 6:00 p.m. Monday through Friday; 8:00 a.m. to 6:00 p.m. Saturdays; and 10:00 a.m. to 6:00 p.m. Sundays and holidays, except as expressly authorized by the City Engineer in conformance with Section 14.40.020 of the Half Moon Bay Municipal Code. (Engineering)
  11. NOTICE OF DISRUPTION. The permittee shall provide written notice to affected property and business owners and a copy of such notice to the City Engineer a minimum of two

business days prior to any planned disruption of pedestrian or vehicular traffic, parking, or public service facilities. (Engineering)

12. CONSTRUCTION MATERIAL STORAGE. Construction material shall not be stored in the street right-of-way without prior approval from the City Engineer. (Engineering)
13. ENCROACHMENT PERMIT. The permittee shall obtain an encroachment permit prior to starting any construction activity within the City right-of-way or affecting City improvements. All improvements constructed within the City right-of-way shall conform to City standards to the satisfaction of the City Engineer. (Engineering)

**D. The following conditions shall be implemented prior to issuance of an occupancy permit:**

1. EXTERIOR COLORS AND MATERIALS. Exterior building colors and materials shall be in substantial conformance with those shown on the approved color and materials board date-stamped 08/30/16 to the satisfaction of the Director of Community Development. (Planning)
2. TREE INSTALLATION. 1 minimum 15-gallon size tree shall be installed in the front setback of the property, adjacent to the street right-of-way. The tree shall be planted in conformance with the site distance requirements of Section 18.06.040(B) (4) of the Zoning Code and shall not interfere with utility lines. (Planning/Engineering)
3. CONSTRUCTION OF STREET IMPROVEMENTS. All street improvements shall be constructed in conformance with approved plans and permits prior to issuance of a certificate of occupancy to the satisfaction of the City Engineer. (Engineering)
4. DISPLAY OF SINGLE-FAMILY STREET ADDRESS. Prior to issuance of an occupancy permit, the residential dwelling shall display an internally-illuminated street address number in a prominent location on the dwelling, visible from the street (a minimum of 6 feet above the surface of the driveway), and with contrasting background and letters/numbers that are 4 inches in height with a minimum 3/4-inch stroke. Where a building is set back from the street or otherwise obscured, a street address with 3-inch reflective numbers/letters shall also be provided near the driveway entrance leading to the dwelling. (Fire/Building)
5. TREE PROTECTION REQUIREMENTS. The following tree protection measures shall be implemented during construction:
  - a) All recommended measures from the approved tree protection plan shall be implemented prior to and during construction.
  - b) Prior to commencement of construction, construction fencing shall be placed around the drip line of all trees proposed for preservation.

- c) No grading or other construction shall occur within the drip line of any tree proposed for preservation except in conformance with a Tree Protection Plan approved by the Community Development Director.
- d) No vehicle, equipment or materials shall be parked or stored within the drip line of any tree proposed for preservation. (Planning/Building)

**E. Validity and Expiration of Permits**

1. EFFECTIVE DATE. The site is not located within the Coastal Commission Appeal's Jurisdiction. This approval shall take effect after expiration of all City appeal periods. (Planning)
2. ACCURACY OF APPLICATION MATERIALS. The permittee shall be responsible for the completeness and accuracy of all forms and material submitted for this application. Any errors or discrepancies found therein may be grounds for the revocation or modification of this permit and/or any other City approvals. (Planning)
3. PERMIT EXPIRATION. The Coastal Development Permit (CDP) and Architectural Review shall expire one year from its date of final approval if development plans for a Building Permit have not been submitted. Once a Building Permit is issued, the CDP shall be deemed in effect. If plans for a Building Permit are submitted within the 1-year expiration period, and a Building Permit is not issued, the expiration of the CDP shall coincide and run concurrently with the Building Permit plan submittal/application as long as due diligence is pursued in the opinion of the Building Official in obtaining the Building Permit.
4. PERMIT EXTENSION. The Community Development Director may, at the Director's discretion, approve a single one-year extension of this permit based on a written request and fee submitted to the Director prior to expiration of the permit. Any other extension shall require approval of a Permit Amendment prior to expiration of the permit. Any Amendment Application to extend the permit shall be filed a minimum of ninety (90) days prior to permit expiration to ensure adequate processing time. (Planning)
5. PERMIT RUNS WITH THE LAND. The approval runs with the land and the rights and obligations thereunder, including the responsibility to comply with conditions of approval, shall be binding upon successors in interest in the real property unless or until such permits are expressly abandoned or revoked. (Planning)

6. HOLD HARMLESS. The permittee agrees as a condition of approval of this application to indemnify, protect, defend with counsel selected by the City, and hold harmless, the City, and any agency or instrumentality thereof, and its elected and appointed officials, officers, employees and agents, from and against an and all liabilities, claims, actions, causes of action, proceedings, suits, damages, judgments, liens, levies, costs and expenses of whatever nature, including reasonable attorney's fees and disbursements (collectively, "Claims") arising out of or in any way relating to the approval of this application, any actions taken by the City related to this entitlement, any review by the California Coastal Commission conducted under the California Coastal Act Public Resources Code Section 30000 et seq., or any environmental review conducted under the California Environmental Quality Act, Public Resources Code Section 210000 et seq., for this entitlement and related actions. The indemnification shall include any Claims that may be asserted by any person or entity, including the permittee, arising out of or in connection with the approval of this application, whether or not there is concurrent, passive or active negligence on the part of the City, and any agency or instrumentality thereof, and its elected and appointed officials, officers, employees and agents. The permittee's duty to defend the City shall not apply in those instances when the permittee has asserted the Claims, although the permittee shall still have a duty to indemnify, protect and hold harmless the City. (City Attorney).

**OWNER'S/PERMITTEE'S CERTIFICATION:**

I have read and understand and hereby accept and agree to implement the foregoing conditions of approval of the Coastal Development Permit.

APPLICANT:

\_\_\_\_\_  
(Signature)

\_\_\_\_\_  
(Date)





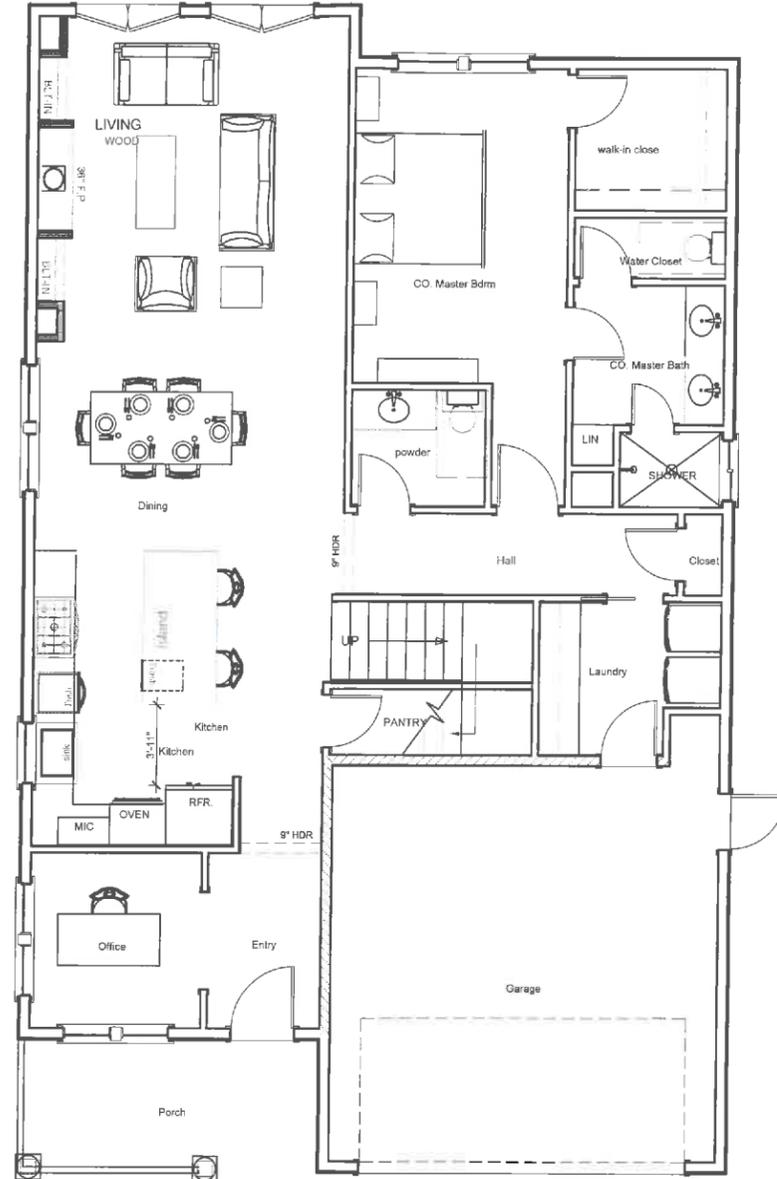
BASELINE WATER USE CALCULATION TABLE						
FIXTURE TYPE	FLOW RATE (gpm) <sup>2</sup>	DURATION	DAILY USES	OCCUPANTS <sup>3,4</sup>	GALLONS PER DAY	
1. The daily use number shall be increased to three if urinals are not installed in the room.						
2. The flow rate is from the CEC Appliance Efficiency Standards, Title 20 California Code of Regulations, where a conflict occurs, the CEC standards shall apply.						
3. For low-rise residential occupancies, the number of occupants shall be based on two persons for the first bedroom, plus one additional person for each additional bedroom.						
4. For nonresidential occupancies, refer to Table A, Chapter 4, 2010 California Plumbing Code, for occupant load factors.						
Showerheads	2.6	X 6 MIN.	X 1	X	=	
Showerheads residential	2.5	X 8 MIN.	X 1	X 4	=	80
Lavatory faucets residential	2.2	X 25 MIN.	X 3	X 6	=	6.6
Kitchen faucets	2.2	X 4 MIN.	X 1	X 1	=	6.6
Replacement aerators	2.2	X	X	X	=	
Wash fountains	2.2	X	X	X	=	
Metering faucets for wash fountains	0.25	X 25 MIN.	X 3	X	=	
Metering faucets	2.2	X 25 MIN.	X	X	=	
Gravity tank type water closets	1.8	X 1 Flush	X 1 Male (1) 3 Female	X 4	=	25.8
Flushometer tank water closets	1.6	X 1 Flush	X 1 Male (1) 3 Female	X	=	
Electromechanical hydraulic water closets	1.6	X 1 Flush	X 1 Male (1) 3 Female	X	=	
Flushometer valve water closets	1.6	X 1 Flush	X 1 Male (1) 3 Female	X	=	
Urinals	1.0	X 1 Flush	X 2 Male	X	=	
Total daily baseline water use (BWU)						121
121 (BWU)x.80= 96.8 Allowable water use						

PLUMBING FIXTURE FLOW RATES			
TABLE 4.303.2 FIXTURE FLOW RATES		TABLE 9.303.2 FIXTURE FLOW RATES	
FIXTURE TYPE	MAXIMUM FLOW RATE AT > 20 PERCENT REDUCTION	FIXTURE TYPE	MAXIMUM ALLOWABLE FLOW RATE
Showerheads	2 gpm @ 80 psi	Showerheads	2 gpm @ 80 psi
Lavatory faucets, residential	1.5 gpm @ 60 psi (1)	Lavatory faucets, residential	1.5 gpm @ 60 psi (1)
Lavatory faucets, nonresidential	0.4 gpm @ 60 psi (2)	Gravity tank type water closets	1.28 gallons / flush (1)
Kitchen faucets	1.8 gpm @ 80 psi (3)	Flushometer tank water closets	1.28 gallons / flush (1)
Gravity tank type water closets	1.28 gallons/flush (4)	Flushometer valve water closets	1.28 gallons / flush (1)
Flushometer tank water closets	1.28 gallons/flush (4)	Urinals	0.125 gallons / flush
Flushometer valve water closets	1.28 gallons/flush (4)		
Urinals	0.125 gallons/flush		

1. Lavatory Faucets shall not have a flow rate less than 0.8 gpm at 20 psi.  
2. Kitchen faucets may temporarily increase flow above the maximum rate, but not above 2.2gpm @ 60psi and must default to a maximum flow rate of 1.8 gpm @ 60psi.  
3. Where complying faucets are unavailable, aerators rated at .35 gpm or other means may be used to achieve reduction.  
4. Includes single and dual flush water closets with an effective flush of 1.28 gallons or less.  
4.1. Single Flush Toilets - The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is the average flush volume when tested in accordance with ASME A112.19.23.2.  
4.2. Dual Flush Toilets - The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is defined as the composite, average flush volume of two reduced flushes and one full flush. Flush volumes will be tested in accordance with ASME A112.19.2 and ASME A112.19.14.

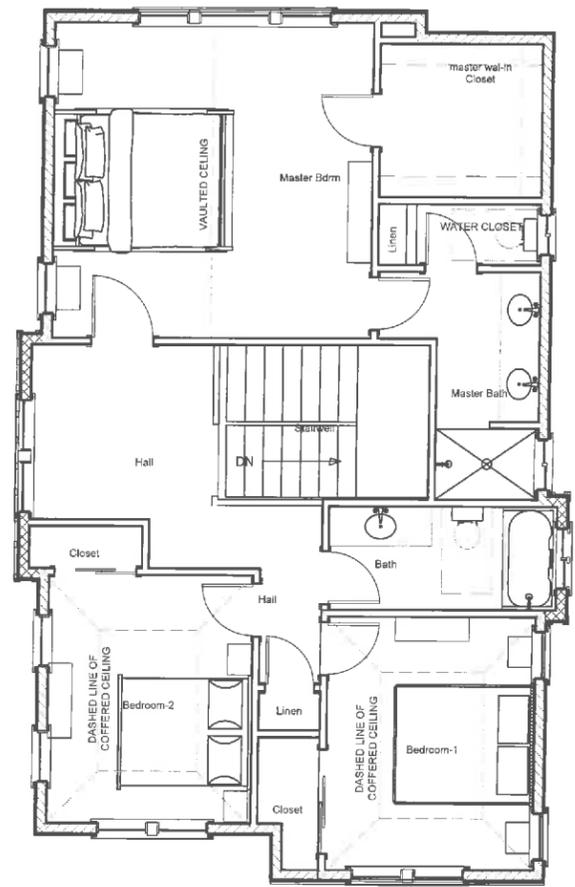
Water Supply Fixture Unit Form Water Demand Worksheet 2013 California Plumbing Code				
Applicant Name: ANTHONY TAFFERA - TAFFERA FAMILY TRUST				
Business Name (if applicable):				
Mailing Address: 1369 E WALDON WAY, FRESNO, CA 93730				
Site Address: 412 VALDEZ, HALF MOON BAY				
Assessor's Parcel Number: 056-118-300				
Type of Occupancy: SINGLE FAMILY RESIDENCE				
Phone Number: (559) 903-8902				
Email: TAFFERA@AOL.COM				
A	B	C	D	"B or C x D = Total"
Appliance or Fixture	Fixture Unit Value Private Residential	Fixture Unit Value Public Non-Residential	Number of Fixtures and Appliances	Total (Column B or Column C) Multiplied by Column D
<b>Indoor</b>				
Bathtub	4.0	4.0	-	-
Bathtub with 3/4" Fill Valve	10.0	10.0	-	-
Bathtub/Shower Combination	4.0	4.0	1	4
Bidet	1.0	-	-	-
Clothes Washer	4.0	4.0	1	4
Dental Unit - Dupsidor	-	1.0	-	-
Dishwasher	1.5	1.5	1	1.5
Drinking Fountain/Cooler	0.5	0.5	-	-
Sinks				
Bar	1.0	2.0	-	-
Clinical Faucet	-	3.0	-	-
Kitchen	1.5	1.5	1	1.5
Laundry	1.5	1.5	-	-
Service, Utility or Mop Basin	1.5	3.0	-	-
Washup, each set of faucets	-	2.0	-	-
Lavatory (Bathroom)	1.0	1.0	6	6
Showerhead	2.0	2.0	2	4
Wash Fountain - Circular Spray	-	4.0	-	-
Urinal Flushometer Valve	3.0	4.0	-	-
Toilets				
Flushometer Valve	5.0	5.0	-	-
Pressure Assst	2.5	2.5	-	-
Gravity	2.5	2.5	4	10
<b>Subtotal Indoor</b>				<b>31</b>
<b>Outdoor</b>				
First Hose Bib	2.5	2.5	1	2.5
Each Additional Hose Bib	1.0	1.0	1	1
Each Lawn Sprinkler Head	1.0	1.0	6	6
<b>Subtotal Outdoor</b>				<b>9.5</b>
<b>Total Indoor and Outdoor</b>				<b>40.5</b>

Coastside County Water District  
766 Main Street, Half Moon Bay CA 94019  
(650) 726-4405 | www.coastsidewater.org



1ST FLOOR PLAN Living Area = 1,350 S.F., Garage= 400sqft. Entry Porch=85 sqft  
WINDOW SCHEDULE SHEET 4 SCALE 1/4" = 1'-0"

NOTES:  
REFER TO TABLE 4.303.2 FIXTURE FLOW RATES & TABLE 9.303.2 FIXTURE FLOW RATES FOR PLUMBING REQ'S ON PAGE 2  
THE PLUMBING FIXTURES AND PLUMBING FITTING SHALL MEET THE STANDARDS NOTED BELOW  
1. WATER CLOSET = 1.28 GALLONS PER FLUSH  
2. SHOWERHEAD = 2.0 GPM MAX  
3. LAVATORY FAUCETS = 1.5 GPM MAX  
4. SINK FAUCETS = 1.8 GPM MAX TITLE 24 VCBC, UBC  
5. FOR BATH TUB PLUMBING USE NON-SLIP JOIN TRAP  
6. COOPER WATER LINES SHALL BE TYPE "L" MINIMUM NOTE: PLUMBING MUST COMPLY WITH HSI 118975 FOR "LEAD FREE" PIPES, PIPE FIXTURES, FITTINGS, PLUMBING FIXTURES, SOLDER & FLUX  
7. AQUAPEX™ CROSS-LINKED POLYETHYLENE (PEX) TUBING AND FITTINGS ARE FOR POTABLE HOT- AND COLD-WATER AND RADIANT HEATING SYSTEMS. DISTRIBUTION, WATER SERVICE MUST COMPLY WITH ICC ESR-1099  
8. SHOWERS AND SHOWER TUBS COMBINATION SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE  
9. HOSE BIBBS SHALL BE FITTED WITH A NON-REMOVABLE BACKFLOW DEVICE. [PC 608.4. 7] SEE ADDITIONAL PLUMBING NOTES ON SHEET 1.2 AND  
10. NEW WALLS 2X4 @ 16" O.C.  
11. NEW WALLS 2X6 @ 16" O.C. ALL EXTERIOR WALLS TO BE 2X6 WITH R-19 INSULATION  
12. RECESSED LED LIGHT FIXTURE MODEL #: CER6730V1 (ASTM E283-04)  
13. SINGLE POLE SWITCH W/ DIMMER OR MANUAL MOTION SENSOR  
14. THREE WAY SWITCH  
15. ARC FAULT 110V DUPLEX RECEPTACLE ALL OUTLETS AREAS NOT JUST THE RECEPTACLES  
16. 110V DUPLEX RECEPTACLE  
17. 220V DUPLEX RECEPTACLE  
18. 110V DUPLEX RECEPTACLE GROUND FAULT INTERRUPTED  
19. 110V DUPLEX RECEPTACLE W/ WEATHERPROOF COVER  
20. 110V EXTERIOR LIGHT FIXTURE  
21. EXHAUST FAN 60 CFM ENERGY STAR W/ HUMIDISTAT WITH LIGHT FIXTURE 1'0" RESCENST  
22. SMOKE DETECTOR 120 VOLT HARD WIRED WITH BATTERY BACKUP  
23. INSTALL A UL APPROVED CARBON DETECTOR. HARD WIRED WITH BATTERY BACKUP.  
NOTE: (AFCI) All electrical circuits serving all outlets must be Arc-Fault Circuit Interrupter (AFCI) protected. An outlet includes receptacles, lighting fixtures, ceiling fans, switches, hard-wired smoke and carbon monoxide alarms, All receptacle outlets in kitchens, dining rooms, breakfast room, pantry, or similar rooms shall be served by no less than two, 20-ampere branch circuits that have no other outlets. CEC 210.52  
24. A chimney shall extend at least five (5) feet (1.5 m) above the highest connected equipment draft hood outlet or flue collar. [B02.5.2.3]  
25. Decorative achrons shall not be installed at the termination of gas vents except where such achrons are listed for use with the specific gas venting system and are installed in accordance with manufacturers' installation instructions. [B02.6.2.4]  
26. DRYER VENTING SHALL TERMINATE ON THE EXTERIOR OF THE BUILDING AND WILL HAVE A BACK DRAFT DAMPER (FLAPPER). SCREENS SHALL NOT BE PERMITTED OR INSTALLED AT THE DRYER VENT TERMINATION (CMC 504.3.1)  
27. A MINIMUM OF A 4-INCH DIAMETER DUCT IS REQUIRED. (CMC 504.3.2)  
28. CLOTHES DRYER VENT DUCTS SHALL BE METAL AND SHALL HAVE A SMOOTH INTERIOR SURFACE. (CMC 504.3.2.1)  
29. A DRYER VENT DUCT SHALL NOT EXCEED THE MAXIMUM LENGTH (HORIZONTAL AND/OR VERTICAL) OF 14 FEET INCLUDING TWO (90-DEGREE) TURNS WITHOUT A MECHANICAL UPGRADE. TWO FEET OF LENGTH SHALL BE DEDUCTED FOR EACH ADDITIONAL 90-DEGREE TURN. (CMC 504.3.2.1)  
30. The circulation pump shall be located above the crown weir of the trap. [414.2]  
31. The pump and the circulation piping shall be self-draining to minimize water retention [414.3]  
32. Suction fittings on whirlpool bathtubs shall comply with the listed standards. [414.4]  
33. Limitation of Hot Water in Bathtubs and Whirlpool Bathtubs. The maximum hot water temperature discharging from the bathtub and whirlpool bathtub filler shall be limited to 120°F (49°C) by a device that conforms to ASSE 1070, Standard for Water Temperature Limiting Devices, or CSA B125.3, Standard for Plumbing Fixings. The water heater thermostat shall not be considered a control for meeting this provision. [414.5]  
34. The maximum hot water temperature discharging from a bidet shall be limited to 110°F (43°C) by a device that conforms to ASSE 1070, Standard for Water Temperature Limiting Devices, or CSA B125.3, Standard for Plumbing Fixings. The water heater thermostat shall not be considered a control for meeting this provision. [418.3]



2ND FLOOR PLAN Living Area = 956 S.F.

BATHROOM NOTES:  
1. WATER RESISTANT GYPSUM BACKING BOARD IN SHOWER SHALL NOT BE USED ON BATHROOM CEILING WHERE FRAMING MEMBER SPACING EXCEEDS 12" O.C.  
2. WALL COVERING IN SHOWER SHALL HAVE A SMOOTH HARD NONABSORBENT SURFACE OF CEMENT PLASTER TILE OR OTHER APPROVED MATERIALS TO A HEIGHT OF NOT LESS THAN 72" ABOVE DRAIN INLET  
3. PROVIDE 2X8 STUDS AT PLUMBING WALL FOR 3" DIA. OR LARGER PIPES RUNNING THROUGH STUDS  
4. EACH SINK LAVATORY BATH TUBS AND SHOWER SHALL BE EQUIPPED WITH HOT AND COLD RUNNING WATER FOR ITS NORMAL OPERATION  
5. IF A WINDOW IS PROVIDED FOR VENTILATION THE OPENING SHALL BE A MINIMUM OF 5% OF THE FLOOR AREA BEING SERVED AND NOT LESS THAN 1.5 SQ.F.  
6. EXHAUST FAN 50 CFM 3 SONE MAX (SWITCHED) ENERGY STAR W/ HUMIDISTAT  
7. PROVIDE SAFETY GLAZING IN WALLS OF TUB AND SHOWER ENCLOSURE WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE & DRAIN INLET  
8. SHOWER DIMENSION REQUIREMENTS MIN. SHOWER STALL FLOOR AREA 1024 SQIN. 2) MIN. 30" DIA. CLEAR AREA 3) MIN. 22" CLEAR SHOWER DOOR OPENING  
9. INSIDE FINISHED DIMENSIONS OF TOILET COMPARTMENT MUST BE 30" MIN WIDTH AND 24" CLEAR SPACE IN FRONT OF TOILET (MINIMUM 15" FROM THE CENTER OF TOILET TO SIDE WALL)  
10. PROVIDE A PERMANENTLY ACCESSIBLE 12" SQUARE BATH TUB TRAP ACCESS DOOR OR A NON-SLIP-JOIN TRAP SHALL BE USED  
11. TOILET COMPARTMENT SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET IN HEIGHT MEASURED TO THE LOWEST PROJECTION FROM THE CEILING  
12. GROUND - FAULT CIRCUIT INTERRUPTERS (GFCI) ARE REQUIRED AT EACH RELOCATED OR NEW RECEPTACLE OUTLETS WITHIN BATHROOMS GFCI BREAKERS PROTECTING THE CIRCUIT ASSOCIATED WITH THE OUTLETS IN THE BATHROOM  
13. WHEN EXISTING OUTLETS ARE REMOVED FROM THEIR OUTLET BOX THE REPLACEMENT OUTLET SHALL BE GFCI PROTECTED NON-GFCI-PROTECTED OUTLETS SHALL NOT BE REUSED  
14. AN ELECTRICAL OUTLETS SHALL BE PROVIDED WITHIN 36" OF THE OUTSIDE EDGE OF EACH BASIN WITHIN THE BATHROOM AS REQUIRED UNDER THE NATIONAL ELECTRICAL CODE (NEC), WHERE MORE THAN ONE BASIN IS PROVIDED A RECEPTACLE OUTLET SHALL BE PROVIDED A RECEPTACLE OUTLET MAY SERVE TWO BASINS PROVIDED THE OUTLET IS LOCATED BETWEEN THE TWO BASINS AND THE BASINS SHARE A COMMON COUNTER TOP RECEPTACLES SHALL NOT BE INSTALLED WITHIN A BATH TUB OR SHOWER SPACE  
15. SHOWERHEAD = 2 GPM @ 80PSI. SHOWER SHALL BE PROVIDED WITH SHOWER CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. ALSO DELIVER MAXIMUM OF 120°F TEMPERATURE (CPC 413.1 AND 418.0)  
16. WATER CLOSET = 1.28 GPM / FLUSH  
17. SINK FAUCETS = 1.8 GPM @ 60 PSI  
18. URINALS = 0.5 GALLONS / FLUSH

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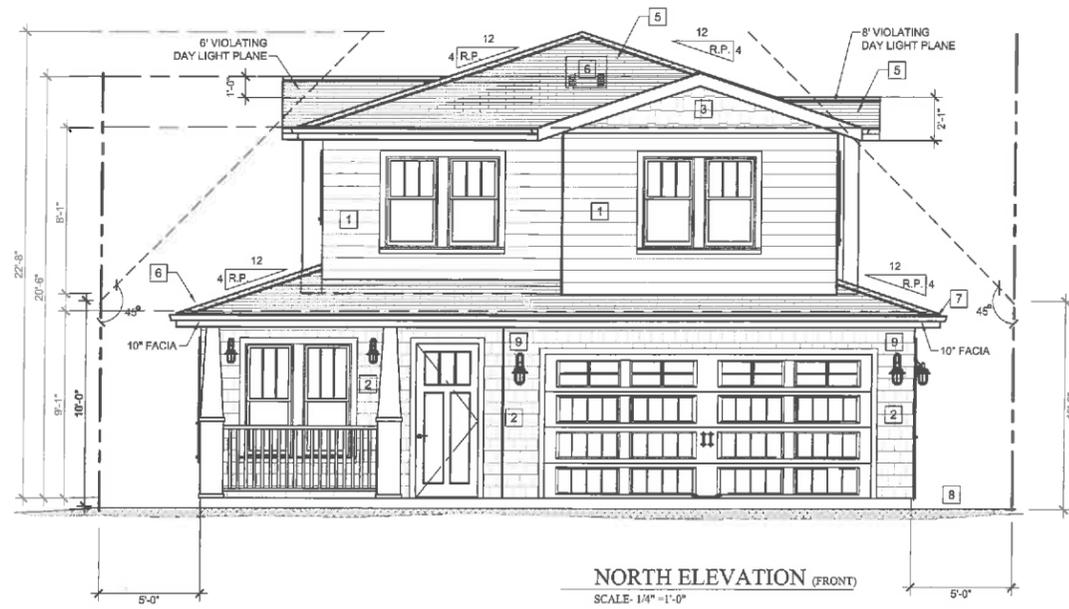
West Coast Design Build  
WEST COAST DESIGN BUILD  
1500 MARINER DRIVE SUITE B, OXNARD, CALIFORNIA 93030  
OFFICE (805) 436-6918 www.wcdesignbuild.com

PLANS PREPARED BY:  
WEST COAST DESIGN BUILD  
1500 MARINER DRIVE SUITE B, OXNARD, CALIFORNIA 93030  
OFFICE (805) 436-6918 www.wcdesignbuild.com

SHEET TITLE: FLOOR PLAN  
PROJECT: TAFFERA FAMILY TRUST  
412 VALDEZ AVENUE HALF MOON BAY, CALIFORNIA 94019

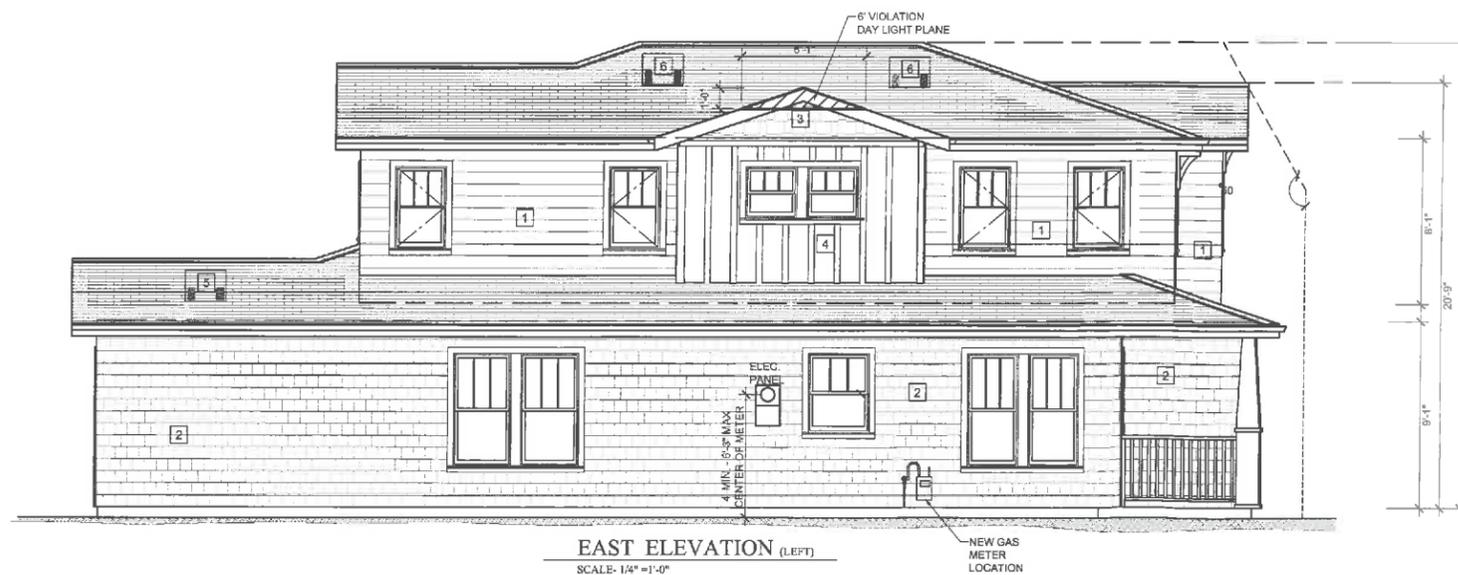
DATE: August 21, 2016  
FILE: TAFFERA-412 valdez  
APN: 056-118-300  
SYM. REVISIONS: DATE

SHEET NO. 5



**ELEVATION NOTES:**

- 1 HARDIEPLANK - 8-1/4" LAP SIDING (ASTM-E119) W/ HardieWrap weather barrier (ESR-2558)
- 2 HARDIEPLANK - STRAIGHT EDGE SHINGLE W/ HardieWrap weather barrier (ESR-2558)
- 3 HARDIEPLANK - STAGGERED EDGE SHINGLE W/ HardieWrap weather barrier (ESR-2558)
- 4 HARDIEBOARD - BOARD/ BATTEN hardieWrap weather barrier (ESR-2558)
- 5 TIMBERLINE GAF ASPHALT SHINGLES ICC-ES ESR-1475  
Three-piece laminated fiber glass construction  
UL Class A fire resistance rating  
UL certified to meet ASTM D3462  
UL certified to meet ASTM D3018 Type I  
ASTM D9161, Class F, 110 mph wind resistance  
  
Warrior Roofing  
Code compliant meets ASTM D-226  
ESR-2082  
#30 Felt Roof Deck Protection  
28 lbs. per square
- 6 CHAGIN VENT SECTIONS ICC-ES 9650-A  
24"x32 GALVANIZED WALL VENT, 72 SQ IN. NET FREE VENTILATION WITH BUG SCREEN, COMPLIANCE W/ C.B.C., CCR TITLE-14, CH7A COMPLIANCE POLICY #08-03, MODEL # VSC2120.
- 7 CONTINUOUS 26 GAUGE GALVANIZED METAL FLASHING WITH 1-1/2" DRIP EDGE AT PERIMETER OF ROOF WITH 4" WIDE GUTTERS CONNECTED TO DOWNSPOUTS THAT DRAIN OVER 12"x18" MINIMUM CONCRETE SPLASH PAD.
- 8 FINISH GRADE SHALL SLOPE AWAY FROM BUILDING 6" MIN. VERTICALLY FOR THE FIRST 10 HORIZONTAL FEET
- 9 HIGH EFFICACY EXTERIOR LIGHTING FIXTURE WITH MOTION SENSOR CONTROL.



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WEST COAST DESIGN BUILD  
1500 MARINER DRIVE SUITE B, OXNARD, CALIFORNIA 93030  
OFFICE (805) 436-6918  
www.wcdesignbuild.com

SHEET TITLE: ELEVATIONS  
PROJECT: TAFFERA FAMILY TRUST  
New Single Family Residence  
412 VALDEZ AVENUE HALF MOON BAY, CALIFORNIA 94019

DATE:	August 21, 2016
FILE:	TAFFERA- 412 valdez
APN:	056-118-300
SYM.	REVISIONS
	DATE

SHEET NO.  
**6**



VALDEZ AVENUE ( 60' R/W )

**BOUNDARY NOTE:**  
MONUMENTS HAVE BEEN SET AT THE PROPERTY CORNERS AND A CORNER RECORD WILL BE FILED WITH THE COUNTY OF SAN MATEO.

**BASIS OF ELEVATIONS:**  
ELEVATIONS ARE BASED UPON AN ASSUMED DATUM.  
TBM: SET HUB & MINI-MAG AS SHOWN  
ELEVATION = 106.30'

**BASIS OF BEARINGS:**  
THE BEARING N84°00'E BETWEEN TWO FOUND MONUMENTS ALONG THE CENTERLINE OF ALSACE LORRAINE AVENUE PER VOL. 10 LLS PG 58 - 59 WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

- LEGEND:**
- ⊙ SET 3/4" BRASS TAG "LS 7701" & TACK, AS NOTED
  - SET 3/4" IP, PLASTIC PLUG "LS 7701", & TACK, AS NOTED
  - ⊗ SET 2.5" WASHER "LS 7701" & MAGSPIKE, AS NOTED
  - FOUND 2.5" BRASS DISK MONUMENT WITH PUNCH IN CASING PER TO LLS 58 - 59
  - A/C ASPHALTIC CONCRETE
  - BW BACK OF WALK
  - CB CATCH BASIN
  - CP CAST IRON PIPE
  - CMP CORRUGATED METAL PIPE
  - CONC CONCRETE
  - CO CLEAN-OUT
  - DI DROP INLET
  - EM ELECTRIC METER
  - FD FOUND
  - FF FINISHED FLOOR
  - FL FLOW LINE
  - PH FIRE HYDRANT
  - PI PLY ANCHOR
  - GM GAS METER
  - GRD GROUND
  - HCR HANDICAP RAMP
  - INV. INVERT
  - IP IRON PIPE
  - JP JOINT POLE
  - LAT. LATERAL
  - LG LIP OF GUTTER
  - O/H OVERHEAD
  - P.U.E. PUBLIC UTILITIES EASEMENT
  - RCP REINFORCED CONCRETE PIPE
  - R/W RETAINING WALL
  - R/W RIGHT OF WAY
  - SSCO SANITARY SEWER CLEAN-OUT
  - SSMH SANITARY SEWER MANHOLE
  - SDMH STORM DRAIN MANHOLE
  - TBC TOP BACK OF CURB
  - T/W TOP OF WALL
  - U/G UNDERGROUND
  - VCP VITRIFIED CLAY PIPE
  - WM WATER METER
  - WM WATER METER BOX
  - CTV- CABLE TELEVISION LINE
  - E- ELECTRICAL LINE
  - G- GAS LINE
  - SS- SANITARY SEWER LINE
  - SD- STORM DRAIN LINE
  - T- TELEPHONE LINE
  - W- WATER LINE

**UTILITY NOTE:**  
THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

Legend

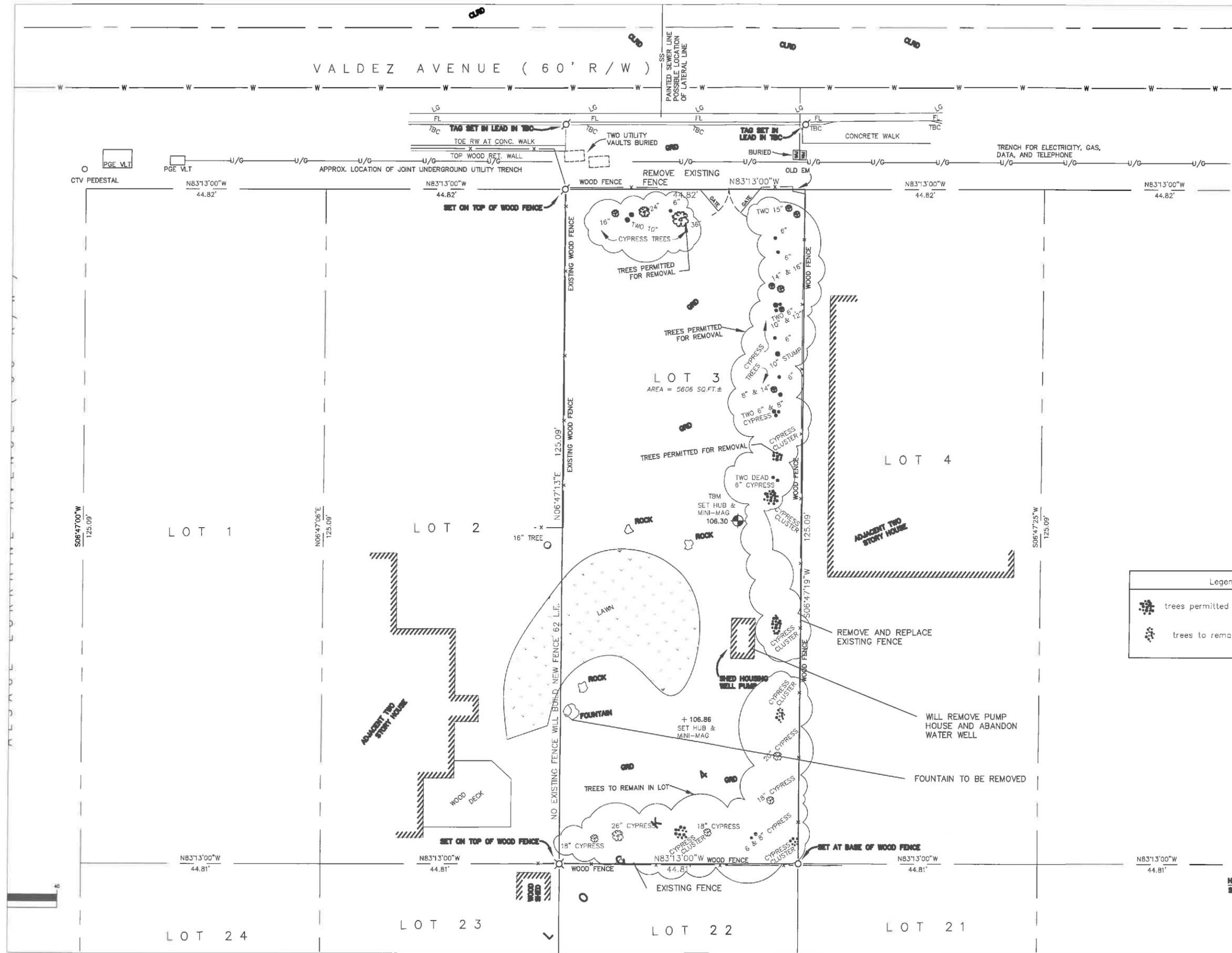
- ⊗ trees permitted for removal
- trees to remain in lot

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**Demolition plan**

LANDS OF TAFFERA  
DOCUMENT #2016-047685 O.R.  
LOT 3, BLOCK 4  
"MAP OF MIRAMONTES TRACT NO. 3"  
VOLUME 4 OF MAPS AT PAGE 65  
ASSESSOR'S PARCEL NUMBER: 056-118-300  
(412 VALDEZ AVE.)

HALFMOON BAY SAN MATEO COUNTY CALIFORNIA  
SCALE: 1" = 10'







## Community Development Department

John T. Doughty, AICP, Director

March 7, 2016

Robert & Marcia Reilly  
703 Alsace Lorraine Avenue  
Half Moon Bay, CA 94019

**Subject:** *Tree Removal Permit for removal of 8 heritage Monterey Pine tree along the northeastern corner of the subject property at 412 Valdez Avenue (APN 056-118-300) PDP-16-015*

Dear Ms. Reilly:

Chapter 7.4 of the Half Moon Bay Municipal Code regulates heritage trees. Section 7.40.050 specifies that a tree removal permit is required prior to removal or significant pruning (removal of more than one-third of the branches or roots within a twelve-month period) of a "heritage tree." A "heritage tree," as defined in Section 7.40.020, includes any "tree located on public or private property, exclusive of eucalyptus, with a trunk diameter of twelve inches or more, or a circumference of at least thirty-eight inches measured at forty-eight inches above ground level." Staff may only issue a permit for the removal or major pruning of a heritage tree if there is good cause for such action. In determining whether there is good cause, Section 7.40.050 specifies that consideration shall be given to the following:

- A. *The condition of the tree with respect to disease, general health, damage, public nuisance, danger of falling, proximity to existing or proposed structures and interface with utility services, age or remaining lifespan, and whether or not the tree acts as host for a plant which is parasitic to other species of trees which are in danger of being infested or exterminated by the parasite;*
- B. *The necessity of the requested action to construct improvements, or other enjoyment of the property;*
- C. *The topography of the land and the effect of the requested action on erosion, soil retention, water retention and diversion or increased flow of surface water;*
- D. *The number, species, size and location of existing trees in the area and the effect the requested action would have in terms of providing shade, protection from wind, privacy, historic value and scenic beauty;*
- E. *The number of healthy trees a given parcel of land will support according to good arboricultural practices;*
- F. *The availability of reasonable and feasible alternatives that would allow for preservation of the tree or trees.*

I have reviewed your application and associated materials for removal of eight heritage Monterey pine tree located on the undeveloped property at 412 Valdez Avenue (Assessor's Parcel Numbers 056-118-300). The property is zoned R-1 Single Family Residential. All trees proposed for removal are located along the northern and eastern property lines of the subject property. You provided a cover letter and site plan with your submittal (Attachment 1) as well as an arborist report (Attachment 2). Your cover letter as well as the documentation from the arborist identifies that the 23 trees currently on the site, have been planted too close to one another, along the property lines and have outgrown their current locations. Additionally, the existing trees have received little maintenance over the course of their lifespans. The lack of proper pruning/maintenance and the close proximity of the trees to one another have resulted in tangled and intertwined limbs of the trees, creating one canopy bordering the property lines of the subject property. The intertwined nature and lack of maintenance has created poor structure of many of the trees. Your letter and the arborist report also explain that the dense line of trees along the property lines prohibits reasonable functional access to the vacant lot for designing and building a single family residence on the site. Given the poor structure of the trees and the lack of access to the site, removing the requested eight trees is the logical solution.

This letter approves the removal of eight Monterey Pine trees along the northeastern corner of the property at 412 Valdez Avenue (APN 056-118-300), pursuant to your tree removal application, dated March 3, 2016 and subject to the following conditions:

1. If the tree removals are conducted between February 1 and September 15, a nesting bird survey shall be conducted on the trees to be removed and surrounding area by a qualified biologist prior removal of the trees. If any nesting birds are identified within the trees to be removed or close proximity, then tree removal activities shall be delayed until all young have fledged, as determined by a qualified biologist.
2. The applicant shall apply for and be issued an encroachment permit prior to the tree removal for any activity associated with the tree removal that takes within the Public Right of Way, to the satisfaction of the City Engineer.
3. The applicant shall plant replacement trees, with a minimum size of 24-inch box, at a location reviewed and approved by the Community Development Director within 30 days of the removal of the eight Monterey Cypress trees on the site. Photographs shall be submitted to the Planning Division of the replacement trees once the new trees are planted.

Should you have questions, please contact Scott Phillips of my staff at (650) 726-8299 or at [sphillips@hmbcity.com](mailto:sphillips@hmbcity.com).

Sincerely,



John Doughty  
Community Development Director

Attachments:

1. Letter and site plan from Applicant
2. Revised Arborist Report

## ATTACHMENT 1

Marcia and Robert Reilly  
703 Alsace Lorraine  
Half Moon Bay, CA 94109  
650-712-1822

March 3, 2016

Mr. Bruce Ambo  
City of Half Moon Bay  
501 Main Street  
Half Moon Bay, CA 94019

Dear Bruce,

Attached please find our Tree Removal Application for Parcel Number 056-118-300 located on Valdez St. We're requesting approval to remove eight cypress trees that are deemed to be heritage trees in order to sell this property as a buildable lot.

We purchased the vacant lot in 1999 as an investment property for our retirement. We have the appropriate sewer and water permits. The property is clearly zoned for residential building. It is the only in-fill lot left on our block and one of the last few buildable lots in the Alsace Lorraine area. We're requesting this permit to remove eight cypress trees located at the front of the property. This request is in accordance with chapter 7.40 of the Municipal Code regarding "Heritage Trees". The code states that "the purpose of this chapter is to establish a process for preserving and developing trees on public and private property designated by this chapter as heritage trees, while recognizing the interests of property owners to develop, maintain and develop private property".

We wish to exercise our right to remove these trees so that we can move forward with the sale of this lot as a buildable property.

A few weeks ago we had a very handsome offer on the lot and lost it after the potential buyers contacted the City were told that because of the heritage trees, they may not be able to build on the lot. They pulled their offer because they were concerned that building would be improbable, and we lost that sale.

We now have a second offer on the lot and the buyers are comfortable that if we have approval to remove the eight trees outlined in the attached permit request they will move forward with the purchase.

Included is an arborist's report with pictures of the existing trees, their size, age and health. We understand that we will be required to replace the trees on a one-for-one basis with a twenty-four-inch-box specimen tree to be determined by the city manager.

Please approve the attached application so that we can move forward with selling the lot.

Kind regards,

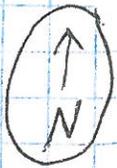


Marcia Reilly

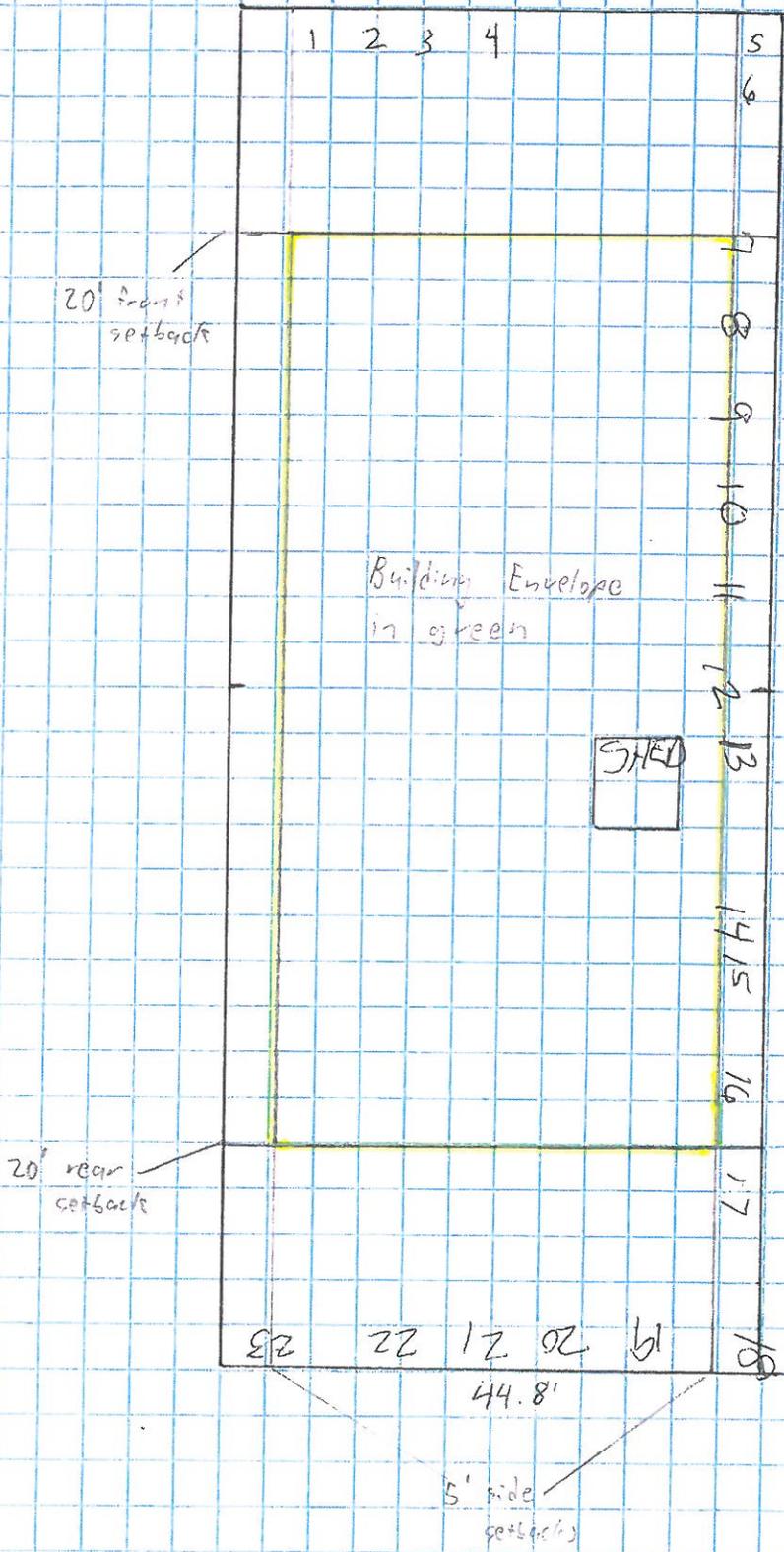


Reilly Property 41/2 Valdez St. APN 056-118-300

VALDEZ AVE.



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— = 4'





**Maguire**  
TREE CARE, INC.

**EVALUATION AND REQUEST FOR REMOVAL  
PERMIT ON MONTEREY CYPRESS (Cupressus  
Macrocarpa)**

**Prepared for:**

Marcia Reilly  
703 Alsace Lorraine Ave.  
Half Moon Bay, CA 94019

**Prepared by:**

Paul Maguire  
Maguire Tree Care, Inc.  
ISA Certified Arborist #WE-5204A  
Tuesday, February 23, 2016

## ASSIGNMENT

I was asked to evaluate and prepare a report on 8 Monterey Cypress trees, with the goal of obtaining a permit to remove these trees. The site (a vacant lot) is located on Valdez Ave. in HMB. The APN of the lot is 056-118-300, which sits right behind 703 Alsace Lorraine Ave. The homeowner, Marcia Reilly, reached out to me for our services on this.

## OBSERVATIONS

### Site Description:

The site is located on Valdez Ave, the second lot to the East from Alsace. This is a vacant lot, with an APN 056-118-300. The lot is flat and is approximately 5600 square feet. There are many trees on this property as well as the subject trees in this report. The lot is fenced in on all sides, with the exception of the property line that separates it from the 703 Alsace Lorraine property. Trees run along the North, east and south fence lines.

### Tree Descriptions:

There are a total of 8 trees to be removed. The purpose of the removals is to allow access for equipment to get into the property for future construction work that may take place when the property is sold off to new owners.

All of the trees are Monterey Cypress, which have been very poorly treated in the past. It appears that all of these trees are in the neighborhood of 40-50 years old, and had been planted as a privacy screen. The trees were planted extremely close together and very near the outer lines of the lot. Most of the trees along the East side of the lot have been topped, and are now nothing but a very scraggly hedge that is extremely close to the neighbors house to the East. The group of trees along the North side of the lot do not appear to have been topped, but have been so closely planted that they literally form one canopy. The trunks of the North line of trees are intertwined with each other, creating very poorly structured trees.

**Tree 1:**

Monterey Cypress, approximately 18" in diameter and 30' in height. This tree is located in the NW corner of the lot, the first tree in this line. This tree has very poor structure, and is heavily crossing trunks/canopies with tree 2.

Page 5 shows a trunk view (first from left) and page 6 shows a canopy view.

Very poor condition

**Tree 2:**

Monterey Cypress, approximately 32" in diameter and 30' in height. As mentioned before, this tree heavily crosses with tree 1, creating very poor structure. There is no viable pruning that can be done to make any structural corrections with this tree.

Page 5 shows a trunk (2nd from left) view and pages 6-7 show canopy views.

Very poor condition

**Tree 3:**

Monterey Cypress, approximately 36" in diameter and 30' in height. Because tree 2 crosses over the top of this tree's trunk, it creates another very structurally defective tree. The canopy of this tree also intertwines with both tree 2 and 3.

Page 5 shows a trunk view (3rd from left) and page 8 shows a canopy view

Very poor condition

**Tree 4:**

Monterey Cypress, approximately 32" in diameter and 30' in height. This tree again has very poor structure. Most of its growth is heavy towards the street, and is very one sided since it has been so shaded out by the first 3 trees along this line. It has a small offshoot near the base, which crosses up into tree 3.

Page 5 shows a trunk view (4th from left) and page 9 shows a canopy view.

Very poor condition

**Trees 5 and 6:**

## Monterey Cypress

These two trees are growing in the NE corner of the lot, very close to both fence lines. Both of these trees are approximately 20" in diameter and 40' in height. Both trees have very poor structure, and appear to have been topped many years ago. Mostly upright growth on these two, with foliage reaching out to the West. Because these trees are so close to the neighbors home to the East, they have been sheared back to close to the fence line, creating a large hedge. Most of the growth in the first 20' on the East sides of these trees has died off because it has been sheared back so heavily.

Page 10 shows a trunk view, and page 11 shows a canopy view. Tree 5 is located on the left in both pictures, with tree 6 to the right. Note: the two smaller trunks to the right on page 11 are non subject trees.

Very poor condition

**Tree 7:**

Monterey Cypress, approximately 32" in diameter and 40' in height. This tree exhibits very poor structure, and appears to have been topped. This tree consists of multiple upright branches, forming one canopy. The East side of this tree has been sheared heavily by the neighbors to keep it back from the house, creating lots of die back along this face.

Very poor condition

The photo on page 12 shows trunk views of both tree 7 (left side) and 8. Photo on page 13 shows canopy views of trees 7 and 8.

**Tree 8:**

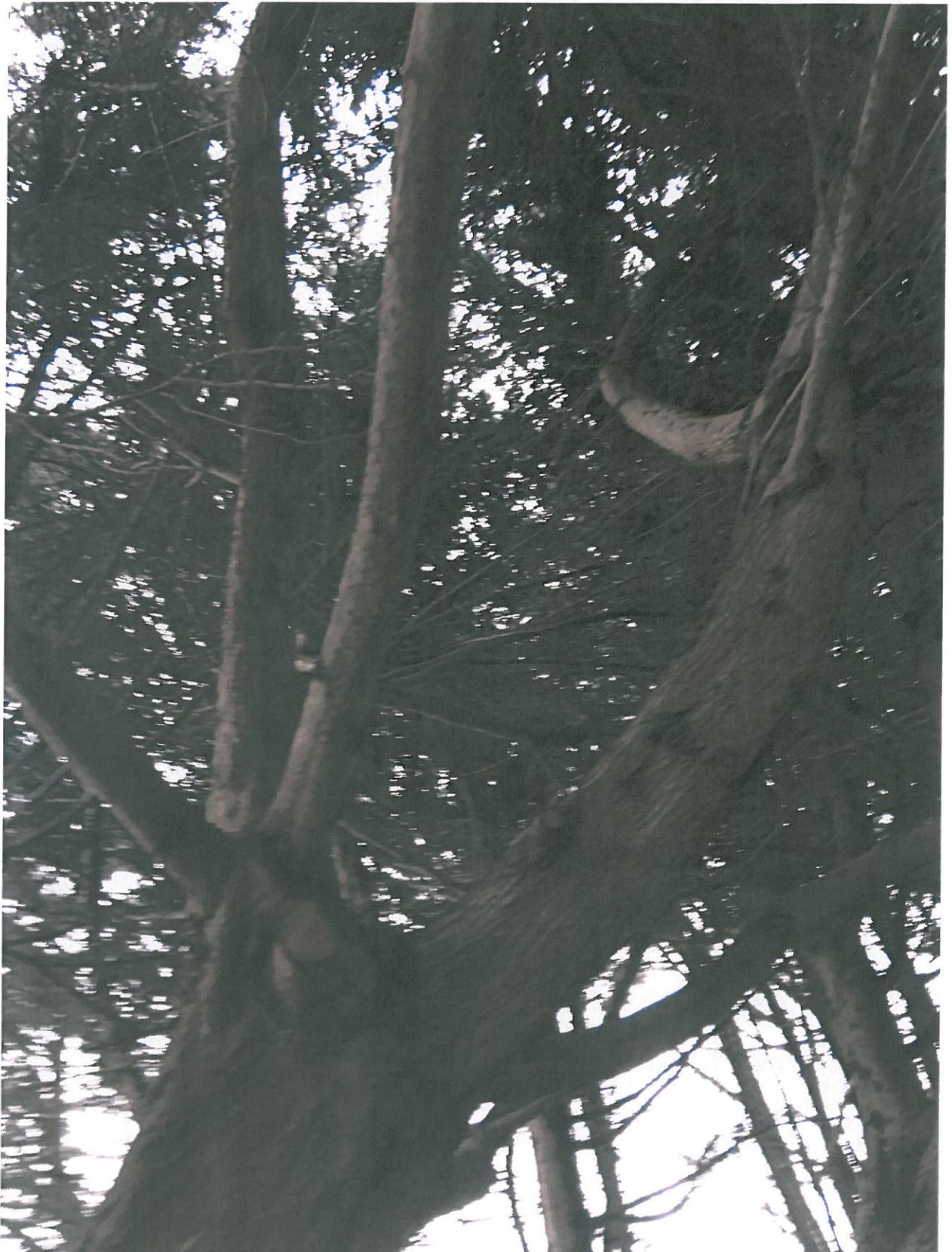
Monterey Cypress, approximately 60" in diameter and 40' in height. This tree splits into 4 upright stems 20" above grade level, which is why the diameter is so large. No particular trunk is larger than 24" in diameter. This tree has very poor structure, and also appears to have been topped. Like tree 7, the East face has been heavily sheared back and has lots of die back along this face.

Refer to page 12 for trunk view, and page 13 for canopy view.

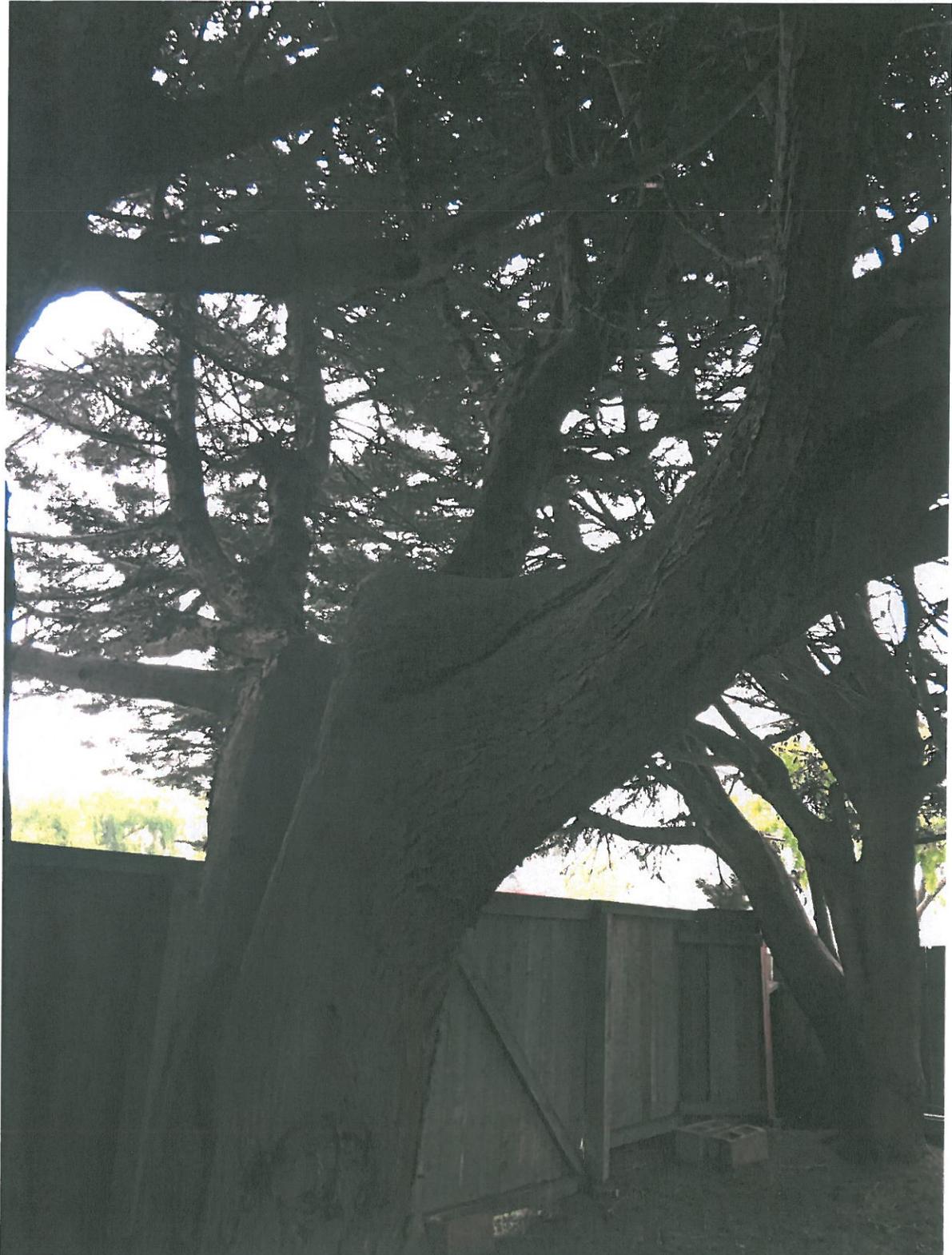
Very poor condition



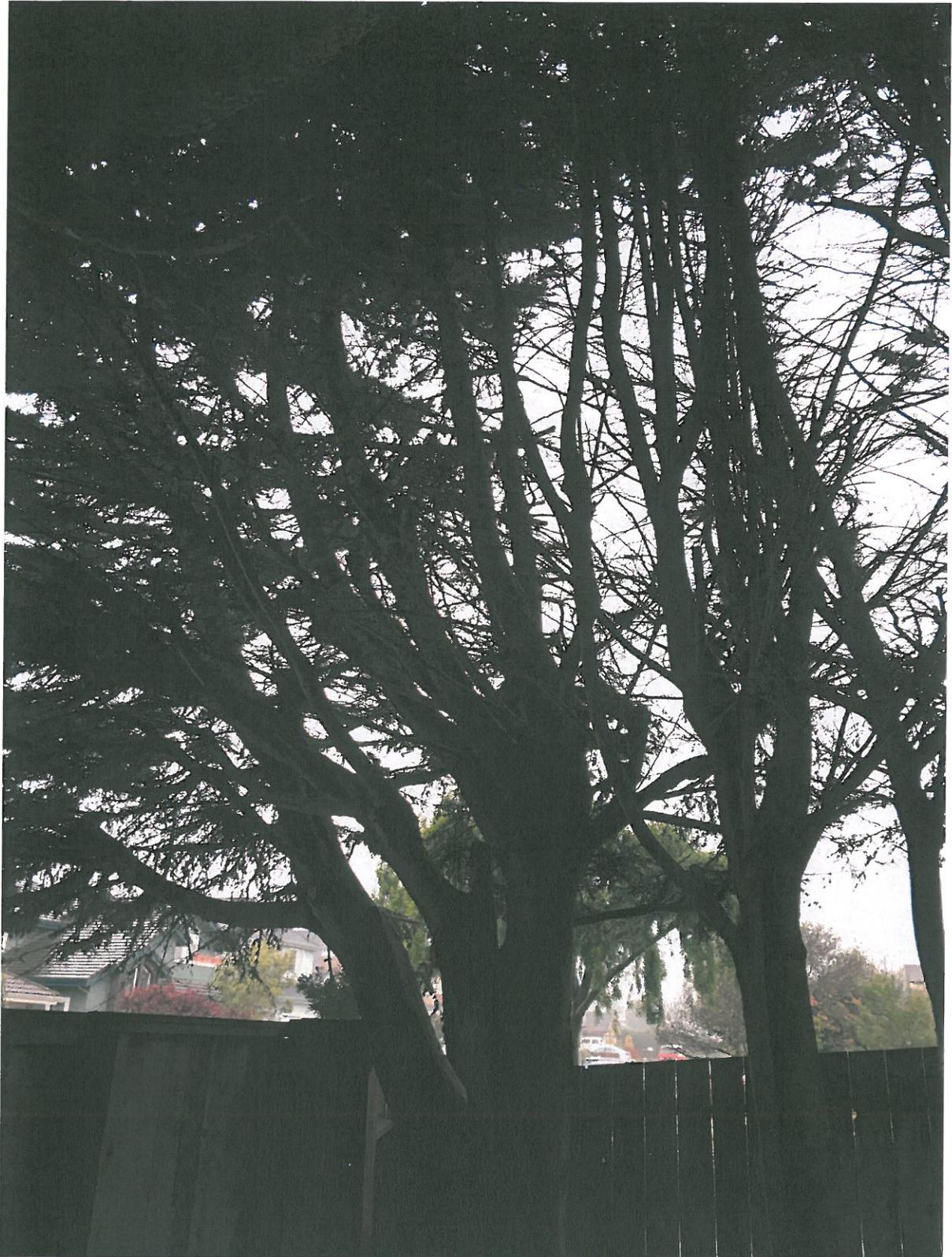
















## DISCUSSION

As previously mentioned, the goal is to obtain removal permits on the 8 trees contained in this report. The 8 trees block open access to this lot in order to develop it. All of the trees are in very poor structural condition, and have never been properly cared for. There are no viable pruning options on any of these trees that will make them worthwhile trees to retain in the landscape, nor is there any sort of way to prune them to allow full open access. There are 15 more mature trees that would be left on the property.

Trees 5-8 have been sheared back so hard that they are an eye sore when looking at them from the East. They all have become so one sided to the West and top heavy because they are being sheared back. This makes for very unstable trees. The photo below shows the East facing side of trees 5-8. The canopies in front of the small white car are trees 1-4.



This picture shows the row of trees 1-6, and makes a good case as to why the trees need to be removed for clear access:



The picture on the following page shows the back sides of the trees, which would be 5-8 (as well as some other non subject trees further towards the back). This gives a very good example as to how close they are to the neighbors home to the left. The die back from the shearing is very obvious.



I see no practical way to manage any of these trees. They have been mis managed to the point of no return, have clearly outgrown their space, offer nothing in terms of aesthetics, create fire hazard and mold problems for the home to the East and most importantly, block clear access to the lot for the future owner to build.

Here is the final photograph, which shows an aerial view of the property, courtesy of google earth. The groups have been marked. Note that to the left of the 1-4 group is another Cypress tree that sits on the neighbors property, and this tree is not affected.



## RECOMMENDATIONS

It is in my professional opinion that these 8 trees should be removed. A better landscape plan can be implemented, with the appropriate quantity of trees being installed.

If I can be of further assistance, please do not hesitate to call.

Respectfully submitted,

Paul Maguire  
Maguire Tree Care, Inc.

## ADDENDUM

Further clarification was requested by Scott Phillips from the City of Half Moon Bay on the condition of these 8 trees.

I did not go into any great detail on the trees because they are all so tied up with each other from being planted so closely that they have grown to essentially create on large canopy. All the trees are more or less in the same structural condition, which is very poor.

Trees 1-3 had been spaced less than 3 feet apart at planting, with tree 4 maybe another 8' away. Trees 1-3 are so interconnected with each other that they are self supporting each other. Tree 4 is also intertwined with the group 1-3, but its trunk is on its own. If any one of these trees are removed without taking out the group, it puts all the other trees at a huge risk of being either pushed over in a wind event or having significant portions of the canopy broken off. They have grown to form one canopy, and disrupting that will lead to failure of one or more of the trees. They have grown so closely together for the past 40 or so years that they could not handle a new wind load if one or more were to be removed. Furthermore, they would be incredibly lopsided from years of being overshadowed by a previous tree that was next to it.

Trees 5-8 are in a different state: These trees, as well as the rest of the row of trees along this fence line, had been topped many years ago. What that did was create a flourish of upright growth from the foliage that was left on the trees at the time of topping. These trees have now shot up significantly in height with little to no side branching. This has created a row of tall, top heavy trees that really cannot be managed anymore. Reducing these trees would now require a bucket truck because of the lack of lateral branching on the insides of the trees for a climber to access the tops. Also, these trees have been sheared back so heavily over the years that there is virtually no growth on the East side and putting all the weight on the West side. The insides of these trees are hollow of growth, so reducing down wont even work for the centers, as there is no live foliage to bring them down into.

On another structural note, these trees have severely included bark of main stems, multiple co dominant leaders and unstable, top heavy limbs. Viewing the pictures contained in this report backs up this information.

Keep in mind that we are talking about 8 trees here, and there are at least a dozen more significant trees on this property. There are more large trees on this portion of land than in the entire screen shot of the neighborhood in the Google earth image provided.

Cypress trees can be very impressive specimen trees. But, in order for them to become that, they need space in all directions for them to grow in the way that they do. I will end it by saying that these trees had been ridiculously closely planted, have clearly outgrown their space, are structurally unstable, had never been properly managed and are so overgrown that there is no management plan that could be implemented to keep these trees as thriving, safe and stable trees.

A better plan is to install one or two strategically spaced cypress trees after these have been removed, which would, in due time, create a canopy equal to what is here now and also provide two specimen trees to develop into the future.



# CITY OF HALF MOON BAY

City Hall • 501 Main Street • Half Moon Bay • CA • 94019

April 19, 2016

Ms. Marcia Reilly  
703 Alsace Lorraine  
Half Moon Bay, CA 94109

**Subject: PDP-16-027, Tree Removal Permit for removal of 6 Monterey Cypress (*Cupressus Macrocarpa*) trees in the vacant lot at 412 Valdez Avenue (APN: 056-118-300)**

Dear Ms. Reilly:

Chapter 7.4 of the Half Moon Bay Municipal Code regulates heritage trees. Section 7.40.050 specifies that a tree removal permit is required prior to removal or significant pruning (removal of more than one-third of the branches or roots within a twelve-month period) of a "heritage tree." A "heritage tree," as defined in Section 7.40.020, includes any "tree located on public or private property, exclusive of eucalyptus, with a trunk diameter of twelve inches or more, or a circumference of at least thirty-eight inches measured at forty-eight inches above ground level." Staff may only issue a permit for the removal or major pruning of a heritage tree if there is good cause for such action. In determining whether there is good cause, Section 7.40.050 specifies that consideration shall be given to the following:

- A. *The condition of the tree with respect to disease, general health, damage, public nuisance, danger of falling, proximity to existing or proposed structures and interface with utility services, age or remaining lifespan, and whether or not the tree acts as host for a plant which is parasitic to other species of trees which are in danger of being infested or exterminated by the parasite;*
- B. *The necessity of the requested action to construct improvements, or other enjoyment of the property;*
- C. *The topography of the land and the effect of the requested action on erosion, soil retention, water retention and diversion or increased flow of surface water;*
- D. *The number, species, size and location of existing trees in the area and the effect the requested action would have in terms of providing shade, protection from wind, privacy, historic value and scenic beauty;*

- E. *The number of healthy trees a given parcel of land will support according to good arboricultural practices;*
- F. *The availability of reasonable and feasible alternatives that would allow for preservation of the tree or trees.*

I have reviewed your application for removal of six heritage Monterey Cypress trees in the vacant lot at 703 Alsace Lorraine Avenue. The arborist report prepared by Paul Maguire dated April 5, 2016 that you provided confirms that these trees (Tree's No 9-14):

"have exceeded their useful life, and have become very difficult to manage. They have been improperly taken care of for many years, and at this point there is nothing that can be done to make them useful, valuable trees for the property owners. The best plan of action is to remove these trees and get the next generation of trees planted."

This arboreal assessment has been verified in the field by the City's consulting arborist on Friday, April 8<sup>th</sup>, and confirmed via email dated April 11<sup>th</sup> as follows:

"I have reviewed the Maguire arborist report and assessed the six cypress trees, at 703 Alsace Lorraine Avenue, and wanted to let you know that I completely agree with Paul's observations and recommendations. The trees in questions are either dead or in a state of advanced decline as a result of many years of heavy shearing and improper pruning. In additions, all six trees have significant structural issues including severely unbalanced canopies, impacted root systems, included bark, and obvious decay that could result in limb or trunk failure."

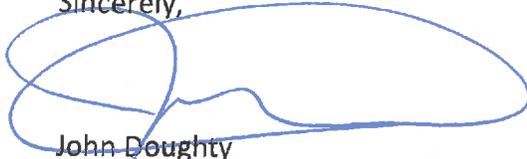
This letter approves the removal of the aforementioned six Monterey Cypress trees pursuant to your tree removal application, dated April 19, 2016, subject to the following conditions:

1. The applicant shall plant six replacement trees with a minimum size of 24-inch box. At a location reviewed and approved by the Community Development Director within 30 days of the tree removals. Photographs shall be submitted to the Planning Division of the replacement trees once the new trees are replanted; and
2. If the tree removals are conducted between February 1 and September 15, a nesting bird survey shall be conducted on the trees to be removed and surrounding area by a qualified biologist prior to removal of the trees. If any nesting birds are identified within the trees to be removed or in close proximity, then tree removal activities shall be delayed until all young have fledged, as determined by a qualified biologist.

Tree Removal PDP-16-027

Should you have questions, please contact Bruce Ambo, Planning Manager of my staff at (650) 726-8251 or at [BAambo@hmbcity.com](mailto:BAambo@hmbcity.com).

Sincerely,

A handwritten signature in blue ink, appearing to read "John Doughty", is written over a blue circular scribble.

John Doughty  
Community Development Director





PLANNING DEPT

AUG 30 2016

RECEIVED

8/29/16

Mr. Scott Phillips

Half Moon Bay-Planning Dept.

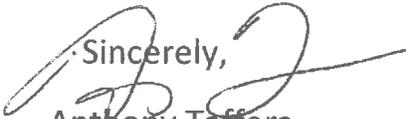
RE: Tree Placement

Dear Mr. Phillips,

The (14) trees removed from 412 Valdez will be replaced as follows:

- (1) Additional tree at 412 Valdez
- (4) Additional trees at 693 Terrace Ave
- (3) Additional trees at 697 Terrace Ave
- (3) Additional trees at 421 Wave Ave
- (3) Additional trees at 694 Terrace Ave

All trees will be drought resistant and 24" Box size.

Sincerely,  
  
Anthony Taffera

412 Valdez Owner